

2022

# COMPREHENSIVE PLAN



MAYOR: DR. ADRAIN DUDLEY  
CITY OF LAKE VIEW, ALABAMA  
12/12/2022

APPENDIX

<b>1.</b>	3	
<b>2.</b>	4	
<b>3.</b>	5	
<b>4.</b>	5	
<b>5.</b>	5	
<b>6.</b>	6	
	Community	6
	Ecology	6
	Economy	6
	Culture and Recreation	6
<b>7.</b>	6	
<b>8.</b>	7	
	City of Lake View, Alabama – Comprehensive Map	7
	City of Lake View, Alabama – West Region	7
	City of Lake View, Alabama – East Region	8
	City Of Lake View, Alabama East Region – Regional Map	8
	City Of Lake View, Alabama West Region – Regional Map	9
<b>9.</b>	9	
	Topography	9
	Topographical Map – Lake View, Alabama	10
	Waterways / Flood Areas / Wetlands	10
	Tree Conservation, Buffers, and Landscaping	14
<b>10.</b>	14	
	Overall Population Changes	14

Industries Supporting Growth (1998 – 2022)	15
Industries Supporting Growth (2022 – 2030)	17
<b>11. 18</b>	
Land Holdings & Ownership Patterns	19
Future Growth	19
<b>12. 20</b>	
Roadway Functional Classification	20
Emerging	21
<b>13. 22</b>	
Growth Areas	22
Limited Growth Areas	22
Restricted Or Non-Growth Areas	23
Subdivisions	23
Growth	24
<b>14. 24</b>	
Library	24
Parks And Recreation	24
<b>15. 25</b>	
<b>16. 27</b>	

# 1. ADOPTION RESOLUTION

Formal adoption of the 2022 Comprehensive Plan by the Planning and Zoning Commission occurred on December 12, 2022, through a motion and unanimous vote by the body.

Additionally, formal recognition and support of the 2022 Comprehensive Plan by the Lake View City Council occurred on December 22, 2022, through a motion and unanimous vote by the body.

---

**PLANNING & ZONING CHAIRPERSON**

**DATE**

---

**MAYOR**

**DATE**

## 2. ACKNOWLEDGEMENTS

Thank you to all those community members and stakeholders who participated in the design and completion of the 2022 Comprehensive Plan.

### **MAYOR & CITY COUNCIL**

Adrain Dudley, Mayor  
Doug Beaulieu, City Council  
Dan Celmer, City Council  
Ben Hudson, City Council  
Cheryl Ivey, City Council  
Kelly Rolen, City Council

### **CITY STAFF**

Cris White, Building Inspector  
Lisa Bates, City Clerk

### **PLANNING & ZONING COMMISSION**

Adrain Dudley, Mayor  
Rosalyn Dudley, Chairperson  
Brad Cook, Member  
Travis Dykes, Member  
Eloise Johnson, Member  
Eric Reese, Member  
Stephanie Reese, Member  
Kelly Rolen, Member  
Michelle Rolen, Member

### 3. BACKGROUND

The Code of Alabama under Title 11 Counties and Municipal Corporations Chapter 52 Planning, Zoning, and Subdivisions empowers any municipality to create a planning commission. Said planning commission is authorized to make and adopt a master or comprehensive plan for the physical development of the municipality and, from time to time, may amend, extend or add to the plan. A comprehensive plan's purpose, including any subsequent amendments or updates, is to guide and accomplish a comprehensive development of the municipality based on its current and future needs and best promote health, safety, and general welfare, among others.

Comprehensive plans are generally meant to be updated every five to ten years. This is done to evaluate and strengthen the effectiveness of the plan's policies, monitor implementation efforts, and amend the plan to reflect community changes. Changes sometimes necessitate new policies and associated implementation strategies, while other changes call for removing policies and related implementation strategies; In contrast, other changes call for the removal of policies because their implementation has been successful.

The overall theme of Lake View's Comprehensive Plan can be summarized by its Vision and Mission statements as well as identified Key Outcomes:

### 4. VISION

To continually provide collective guidance to establish a diverse, sustainable, and viable community.

### 5. MISSION

Provide the framework for achieving a sustainable future at the local level. The strategic direction reflects Lake View's sustainability ideology and its local, regional, and global awareness about how current decisions can affect the community today and future generations. Achieving a sustainable future requires a continuous effort to align community, environment, and economy. When these three components are aligned, Lake View can prosper without compromising its core values or degrading its assets.

## 6. KEY OUTCOMES

### Community

The values, lifestyles, preferences, and social/civic capacity of residents and the workforce.

### Ecology

The natural environment, resources, and climate of the community, region, and earth.

### Economy

The community's fiscal conditions, business capacity, infrastructure, individual wealth, and economic opportunities.

### Culture and Recreation

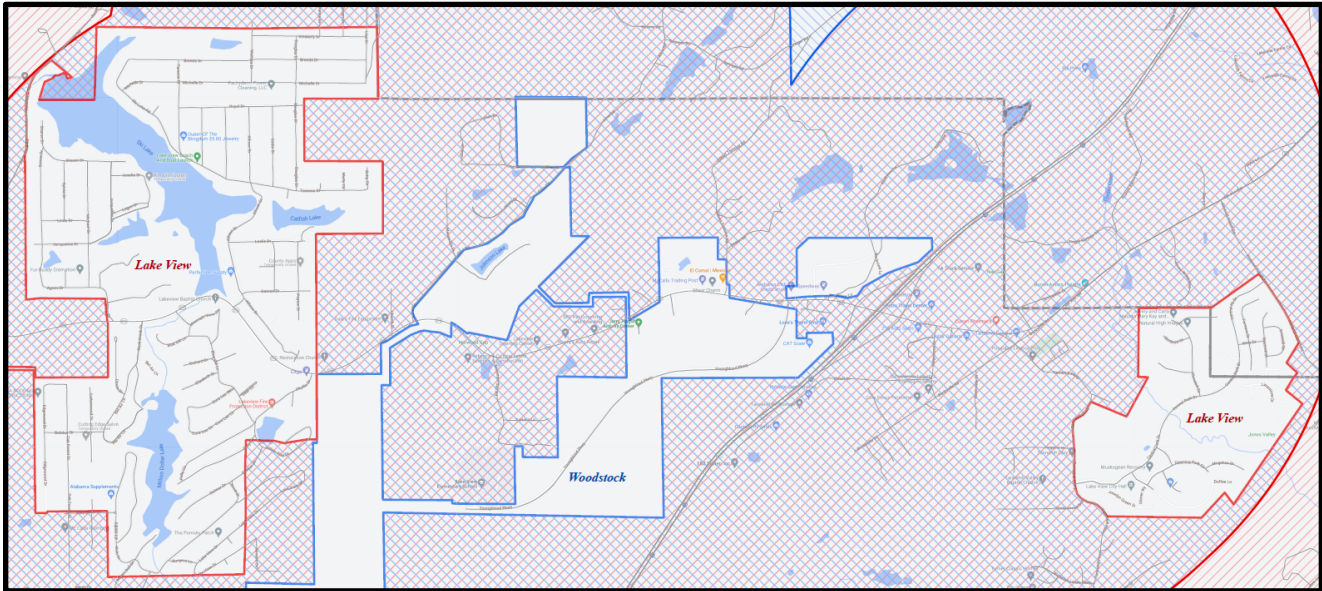
Provide diverse cultural and recreational communities.

## 7. GOAL

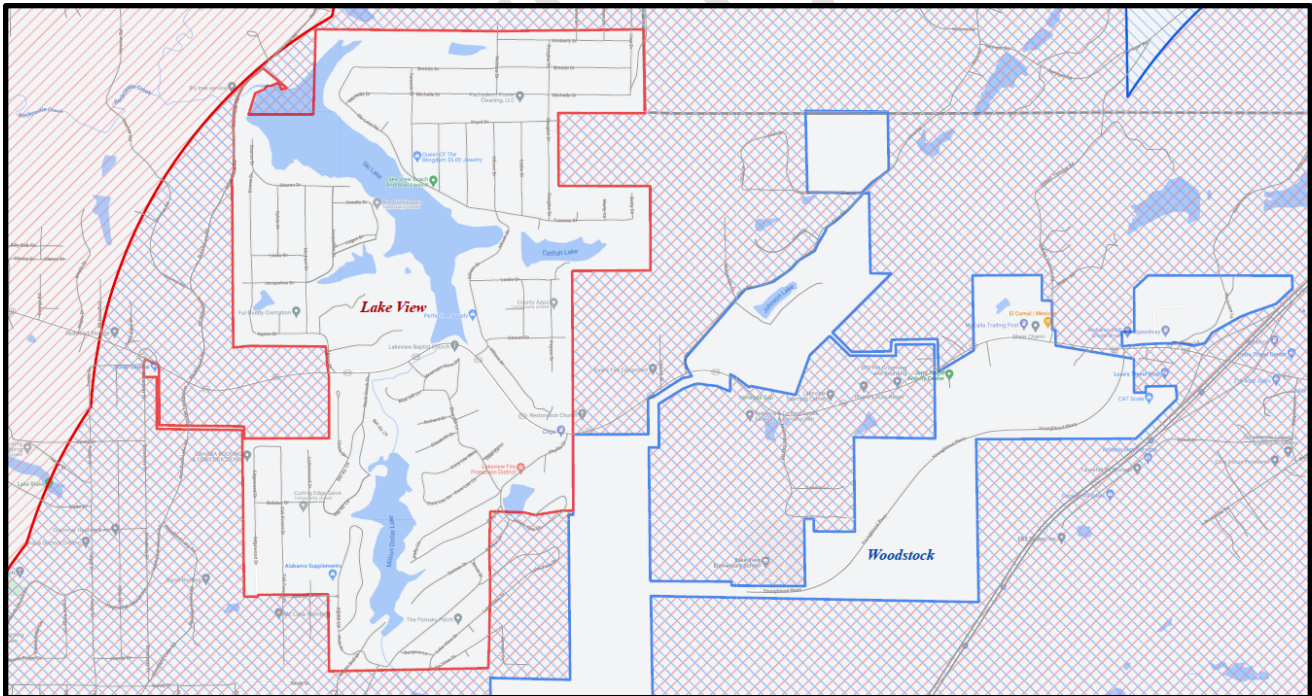
Our goal for retaining small city character is maintaining a compact development pattern and a distinct geographic identity. Therefore, it is vital to establish planning strategies in the City and on its periphery that seeks to balance the needs of conservation and development. Achieving this goal requires a coordinated effort between the City, the counties, and the land conservation entities.

## 8. CITY MAPS

### City of Lake View, Alabama – Comprehensive Map

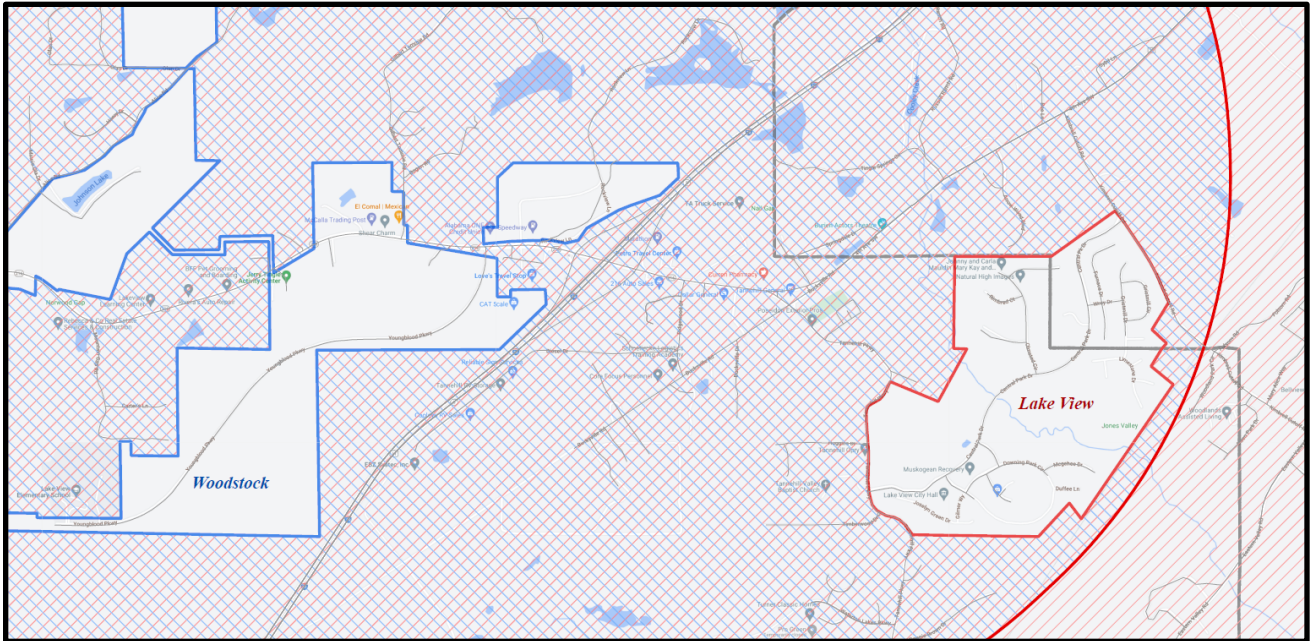


### City of Lake View, Alabama – West Region





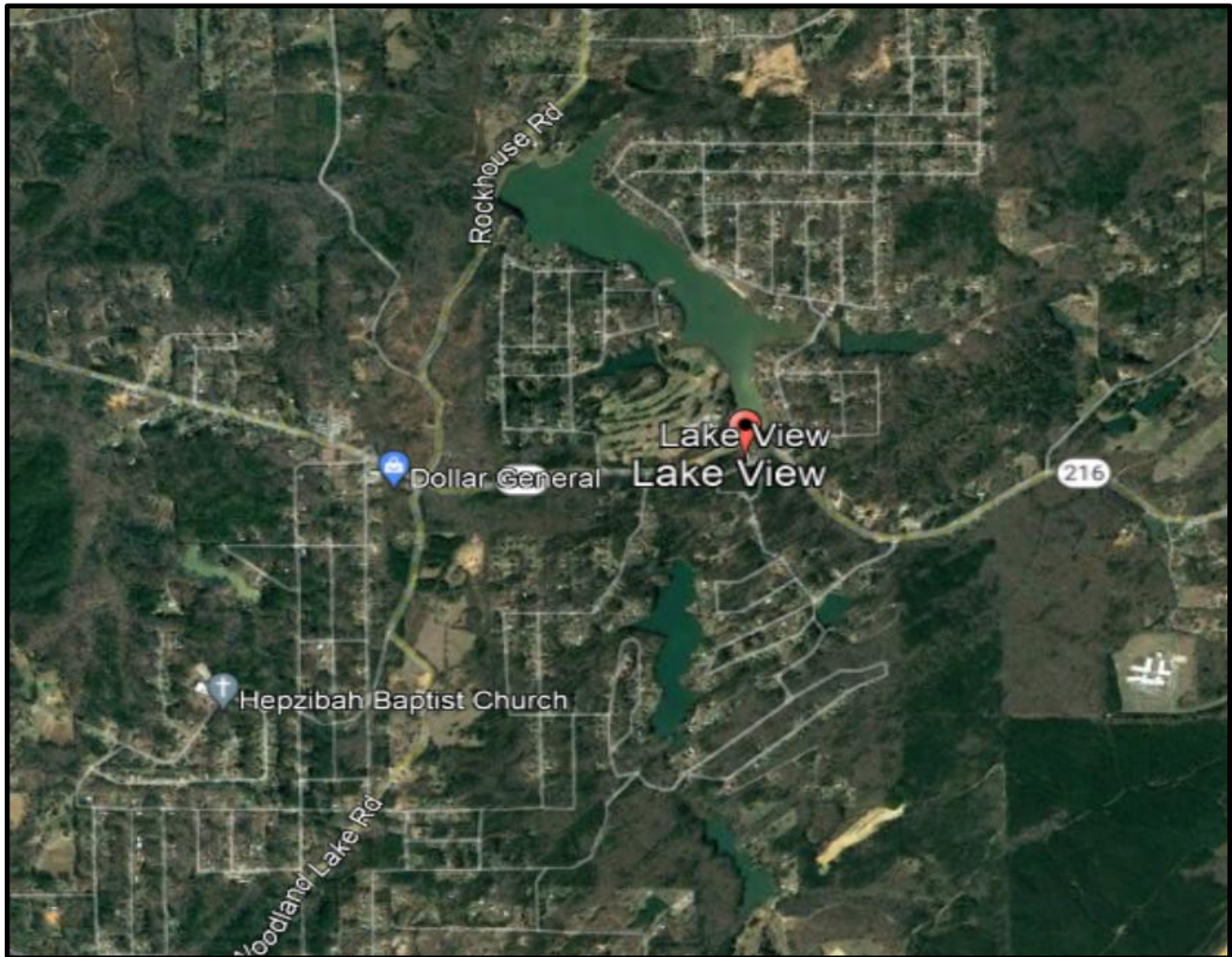
**City of Lake View, Alabama – East Region**



**City Of Lake View, Alabama East Region – Regional Map**



## City Of Lake View, Alabama West Region – Regional Map



## 9. PHYSICAL ENVIRONMENT

### Topography

Lake View lies within the general physiographical region known as the Cumberland Plateau. Elevations range between 450 and 550 feet above sea level in most parts of the city.

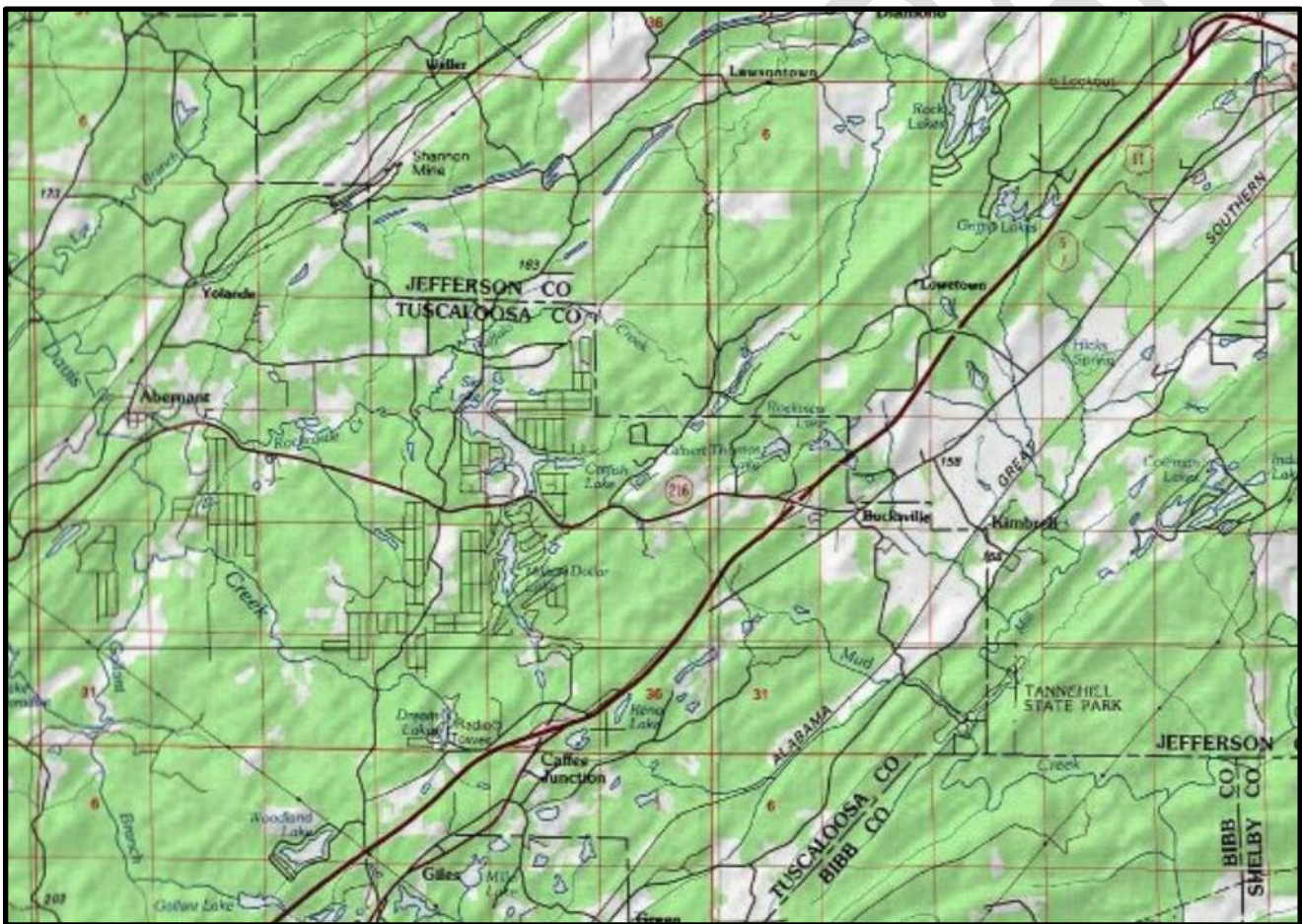
Lake View is located at the following:

- Longitude: -87.137495
- Latitude: 33.2806703

Lake View is approximately halfway between Birmingham, Alabama, and Tuscaloosa, Alabama. The city splits between the I-20/I-59 corridor, to which segments are served primarily by State Highway 216 and Old Tuscaloosa Highway, located in both Jefferson County and Tuscaloosa County, Alabama.

- Adger, Alabama is located North/Northeast of Lake View, Alabama.
- Abernant, Alabama is located West of Lake View, Alabama.
- Woodstock, Alabama is located South of Lake View, Alabama.
- Bessemer, Alabama is located East of Lake View, Alabama.

### Topographical Map – Lake View, Alabama



### Waterways / Flood Areas / Wetlands

Lake View is positioned within the Upper Black Warrior River Watershed, as all lakes and some small and large creeks that flow through Lake View flow into the Black Warrior River Watershed at some point. In addition, other small creeks that flow through Lake View flow into Shades Creek. Shades Creek is a sub-watershed of the upper portion of the Cahaba River Basin, and its primary use is residential.

The Black Warrior River Basin is the largest watershed wholly within Alabama’s state boundaries. The river’s principal forks, the Sipsey, Mulberry, and Locust, begin in North Alabama and converge to form the Black Warrior west of Birmingham at the Jefferson County, Walker County line.

Cooley Creek is the tributary used for stormwater drainage on the east side of Lake View. Continued construction has and should continue to identify this tributary in descriptions of future stormwater planning for this area.

There are currently eight outfall locations and two receiving water locations.

NOTE: Cooley Creek is not on the 2022 Alabama 303(d) list.

The Western Region of Lake View has nine private lakes only accessed by members of the Lake View Property Owners Association (LPOA).

#### Ski Lake

The largest of the nine lakes, Ski Lake, is flanked on one shore by The Club at Lakeview Golf Course and the other by Ski Lake Park. This is the only lake that allows water sports and speeds above idle.

#### Fishing Lake

Fishing Lake is an idle speed-only lake that offers bass fishing in the area. It is the second largest of the nine lakes.

#### Scout Lake

Scout Lake is a small fishing lake named for the Boy Scouts, who helped build the park that sits on its western shore. This lake is trolling motor only.

#### Catfish Lake

Across Allison Dr from Ski Lake is the last of the lakes to have a park. Catfish Lake, true to its name, offers catfish, even when fishing from the pier and local kayak fishers.

Golf Course Lake

Golf Course Lake, otherwise known as Lake Number Seven, runs alongside the golf course at The Club at Lake View.

Dry Lake

Until recently, Lake Number Six was drained, thus the moniker Dry Lake. Now it is back to the full pool with bream and other fish.

Becky Lake

Also called Lake Five, Becky Lake has the means to walk along the dam and launch a small boat.

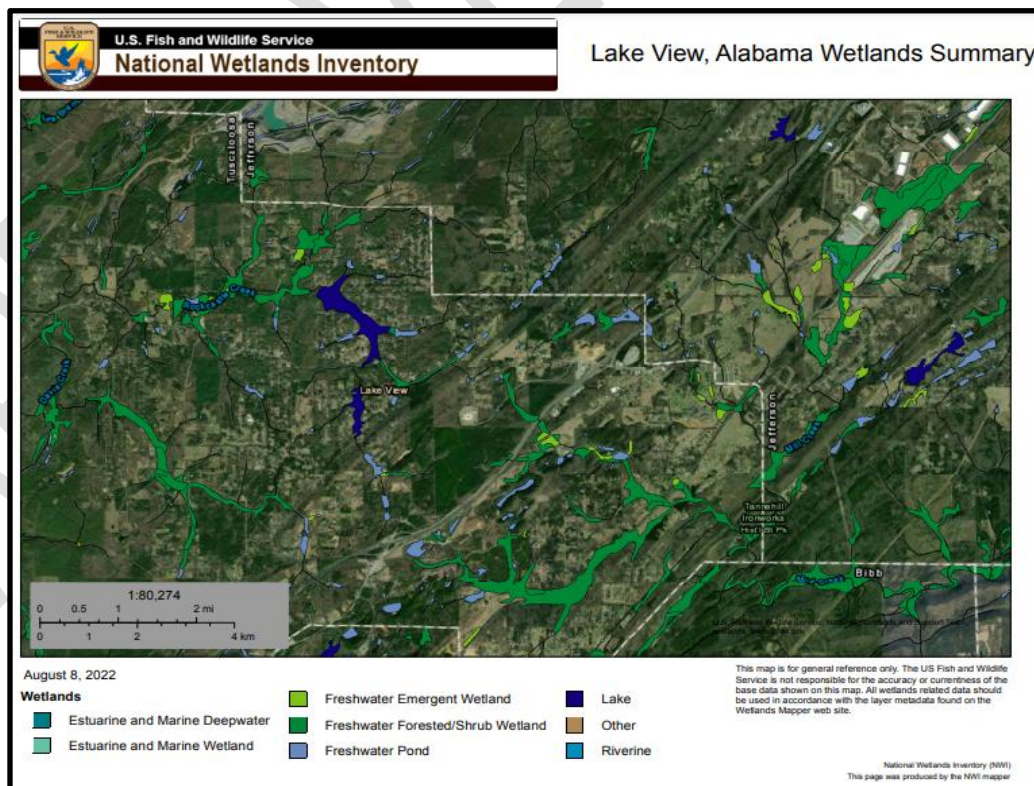
Parson Lake

Parson Lake has a fresh and healthy young fish population, shore access, and a boat ramp.

Lake Retreat

Lake Retreat is a quiet lake you won't find unless you know where to look.

**Lake View, Alabama Wetland Summary Map**



Wetlands:

Land areas where saturation with water is the primary factor determining the nature of soil development and the types of fauna and flora living within and on top of the soil. Their common theme is that soil in these areas is periodically saturated with or covered with water.

Emergent Wetland:

A wetland habitat dominated by soft-stemmed herbaceous plants called emergent. Water levels can range from a few inches to a few feet. Emergent wetlands can occur in isolation or in association with other water bodies, including deep and shallow marshes and wet meadows.

Forested Wetland:

A wetland where the soil is saturated and often inundated and woody plants taller than 20 feet dominate the vegetation, e.g., Red Maple and Tamarack. Water-tolerant shrubs and saplings often form a second layer beneath the forest canopy, e.g., Red Maple saplings and Highbush Blueberry, with an herbaceous layer below, e.g., Cinnamon Fern, Sensitive Fern. Forested wetlands are also referred to as wooded swamps.

Within Lake View's city limits, there are several emergent wetland areas near and around our many lakes and streams. These wetland areas are inundated with water year-round and overflowing with wildlife and herbaceous vegetation. In addition, the wetlands can help collect and retain stormwater runoff, helping to reduce runoff rates and keeping turbidity out of our watershed areas. Recently, the benefits that wetlands provide have become more evident. Benefits include water-quality improvement, flood attenuation, esthetics, and recreational opportunities.



### **Tree Conservation, Buffers, and Landscaping**

The purpose of implementing tree conservation, buffers, and landscaping aims to promote the City's quality of life by promoting health and general welfare, providing adequate light and air, preventing the overcrowding of land, avoiding undue concentration of population, and encouraging a responsible land ethic. This section has been created with reasonable consideration, among other things, to the character of the zoning districts and their peculiar suitability for particular uses and to conserve the value of buildings by encouraging the most appropriate use of land throughout the City.

The objectives are achieved by conserving and protecting the City's land, water, air, vegetation, and other natural resources. The City accomplishes this by requiring measures to preserve and/or replace trees during all phases of disturbing land activity, to make incompatible land uses more compatible by requiring a buffer between the uses, and to provide shade within and enhance the appearance of parking and other vehicle maneuvering areas.

Benefits to the community include the protection and enhancement of property values, reduced storm water run-off, soil erosion, and sedimentation. Additionally, the process of photosynthesis, trees and other forms of vegetation remove some carbon dioxide from the atmosphere, generate a significant amount of oxygen necessary for life support, and absorb and hold some chemical pollutants.

## **10. SOCIOECONOMIC CONDITIONS**

### **Overall Population Changes**

Lake View, Alabama was incorporated in 1998. According to U.S. Decennial Census Data, Lake View, Alabama has experienced explosive growth since incorporation:

HISTORICAL POPULATION SUMMARY – LAKE VIEW, ALABAMA		
YEAR	POPULATION	PERCENT CHANGE
2000	1,357	-
2010	1,943	43.2%
2020	3,560	83.2%

HISTORICAL POPULATION SUMMARY – LAKE VIEW, ALABAMA					
ALABAMA COUNTY	% POP. 18 YEARS OR OLDER	2010 POPULATION	2020 POPULATION	DIFFERENCE 2010-2020	PERCENT CHANGE
Bibb	78.6%	22,915	22,293	-622	-2.7%
Jefferson	78.1%	658,721	674,721	16,255	2.5%
Tuscaloosa	78.9%	194,656	227,036	32,380	16.6%

Jefferson County, Alabama, and Tuscaloosa County, Alabama, experienced combined growth of 19.1% during the last decade. Lake View, Alabama, has outpaced growth in Tuscaloosa County, Alabama, by 38% and in Jefferson County, Alabama, by 52.5%, respectively. While the overall dynamics regarding the comparisons are wildly different, Lake View, Alabama, is poised to experience significant growth in the next decade, provided the growth experienced between 2010 and 2020 combined with future economic developments planned in both Jefferson County, Alabama, and Tuscaloosa County, Alabama.

#### **Industries Supporting Growth (1998 – 2022)**

Overall growth within Lake View, Alabama, and the surrounding communities are attributed primarily to industries either building facilities in the area or expanding facilities in the area.

#### **Mercedes Benz US International Incorporated**

Mercedes Benz US International Incorporated (MBUSI) Facility, initially constructed in 1996 and located in Vance, Alabama, has contributed significantly to Lake View, Alabama's growth and surrounding communities.

MBUSI employs approximately 4,000 individuals in the immediate area of the facility located in Vance, Alabama.

The initial M-Class facility was completed in July 1996, with an \$80 million expansion in 1998 and 1999 to the original facility and subsequently another \$600 million expansion in 2004. Other expansions took place in 2018 and 2019 to support the manufacturing of C-Class vehicles and EV-Class Vehicles.



### Jefferson Metropolitan Park (JeffMet)

JeffMet (McCalla) is a 739-acre industrial park located on the south side of U.S. Highway 11 in McCalla, Alabama, and has fueled growth within the Lake View, Alabama area since its inception in the late 1990s. JeffMet McCalla is home to several larger distribution and light manufacturing facilities including:

- Decoma International, a supplier to Mercedes Benz
- Gestamp Alabama, a supplier to Mercedes Benz
- Gulf Distributing (opened 2022)
- Gulf States Beauty Supply
- Home Depot rapid deployment center (opened November 2009)
- JCIM (formerly Plastech), a supplier to Mercedes Benz
- Johnson Controls
- McKesson Pharmaceuticals distribution center
- Mobis Alabama, supplier to Kia and Hyundai (2021)
- OfficeMax distribution center
- Oxford Automotive, a supplier to Mercedes Benz
- Plastipak Packaging, a containers manufacturer
- Posco America Alabama Processing Center, steel supplier to Kia and Hyundai (broke ground 2010)
- J. M. Smucker Co., processed food manufacturer (announced 2021, expected to open 2025)

Since its inception, Jefferson Metropolitan Park has created approximately 1,626 jobs and generated more than \$500 million of investment in the immediate area of the park.

### Birmingham Regional Intermodal Facility – McCalla, Alabama

In 2009, Norfolk-Southern Railroad announced plans to develop the \$112 million Birmingham Regional Intermodal Facility, which adjoined the JeffMet – McCalla Park. During the same year, the Economic Development Partnership of Alabama classified the park as an “AdvantageSite,” meaning that documentation and verification of key site amenities, utility service, and development impact data can be provided to prospective companies wishing to locate in the area.

Additional Industry Growth – Jefferson County, Alabama and Tuscaloosa County, Alabama

In addition to the industries cited above, several citizens commute to work within the Greater Birmingham, Alabama Metropolitan Area, and Greater Tuscaloosa Metropolitan Area.

### **Industries Supporting Growth (2022 – 2030)**

#### **Mercedes Benz US International Incorporated**

It is reasonable to expect continued growth associated with established employers such as Mercedes and the various vendors supporting the auto manufacturing facility located in Vance, Alabama.

#### **Medical West Hospital Authority (UAB)**

Construction of a replacement hospital facility began on November 21, 2021 and is scheduled for completion in 2024. The new facility consists of the following:

#### HOSPITAL

- Total Investment: \$400,000,000.00
- Square Footage: 412,000
- Levels / Story: 09
- Beds: 200

#### MEDICAL OFFICE BUILDING

- Square Footage: 127,000
- Levels / Story: 05

#### FACILITY FEATURES

- Surgical Suite
- Endoscopy Suite
- State – of – the Art Imaging Technology
- High Capacity Intensive Care Unit

#### **J.M. Smucker Company**

Construction of a manufacturing facility began on January 2022 and will be a three–phase project, scheduled to start production in 2025.

- Total Investment: 1,100,000,000.00

- Acreage; 225 Acres

### GROWTH SUMMARY

The Lake View, Alabama Planning and Zoning Commission expects greater demand for the following residential housing units:

- Single Family Housing
- Special Purpose Housing
- Multi – Family Housing

The Lake View, Alabama Planning and Zoning Commission expects greater demand for rental property, which is currently undersupplied compared to demand.

The Lake View, Alabama Planning and Zoning Commission expects greater demand for the following commercial units:

- Medical Support Facilities
  - MRI, General Practice, Etc.
- Medical Specialty Facilities
  - Urology, Podiatry, Etc.
- Restaurants
  - Grassroots
  - National Chain
- Health / Beauty Facilities
- Convenience Facilities
  - Gas Station

## **11. REGIONAL PLANNING AREA**

While this Comprehensive Plan is focused on those lands currently within the municipal limits of Lake View, the plan should also inform land use decisions as additional properties are annexed into the City. Lake View also provides police services to areas outside of its existing municipal boundaries. Annexation of these lands already served should be considered for annexation if requests are received.

Multiple other subdivisions and unincorporated lands border Lake View within Tuscaloosa and Jefferson Counties. Continued coordination and coordination with these bodies is paramount to ensure the timely provision of City services and the logical expansion of Lake View.

### **Land Holdings & Ownership Patterns**

While numerous subdivisions exist within and around Lake View, many acres of undeveloped land is adjacent to or near corporate boundaries. Much of this land is held by the University of Alabama near the Western section of Lake View and Jefferson County Economic/Industrial Development Authority near the Eastern section. Most notably, just over 58 undeveloped acres around the Arrow Wood Subdivision were previously identified for commercial development along with other phases of residential development.

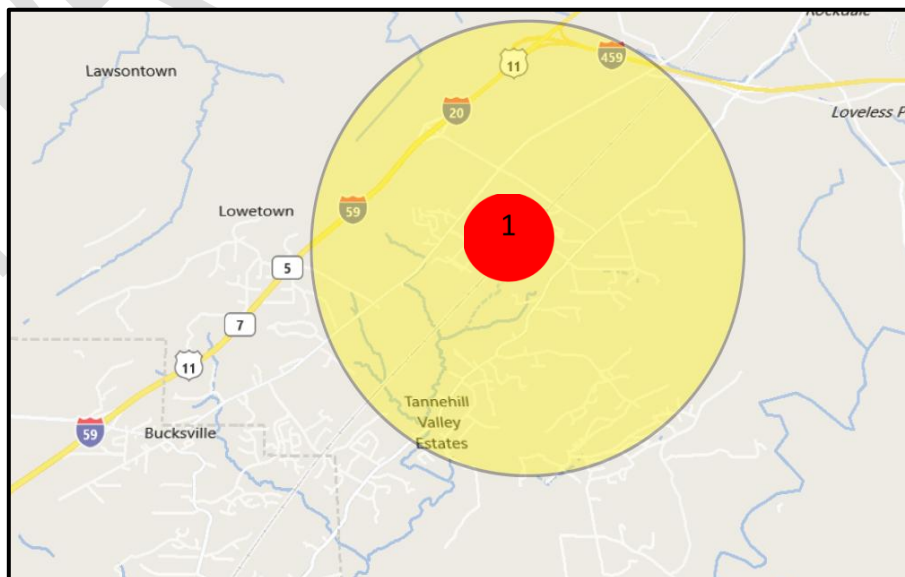
### **Future Growth**

The Lake View, Alabama Planning and Zoning Commission expects growth outside of the City Corporate Limits in three distinct areas:

#### **East Region**

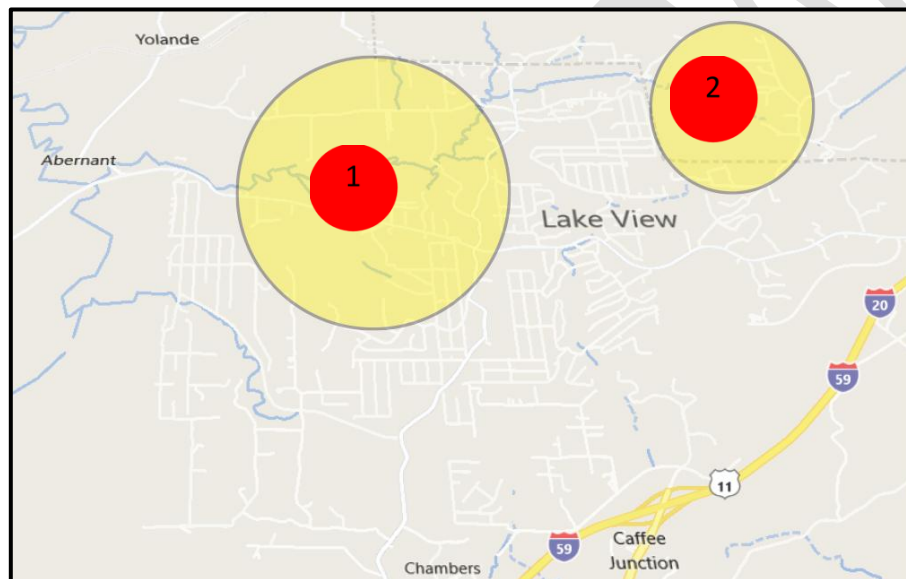
Expect continued growth along the Highway 216 Corridor to include the following:

- Institutional Growth
- Industrial Growth
- Residential Growth
- Commercial Growth



West Region

1. Expect continued growth along the Highway 216 Corridor and Rockhouse Road Corridor to include the following:
  - Institutional Growth
  - Residential Growth
  - Commercial Growth
2. Expect continued growth north of the Commercial Properties located at the Highway 216 Corridor and Interstate 20 / 59 Corridor.



## 12. TRANSPORTATION

### Roadway Functional Classification

According to the character of traffic service, the roads are intended to provide and the degree of land access that they allow; roadways are arranged into classes known as the process of roadway functional classification.

All roadways are sorted into three main available types:

Arterial, Collector, and Local roads provide a balanced relationship between mobility and land access.

Mobility is the ability to efficiently travel along the roadway, while land access is the ease of connecting to a particular tract. Arterials afford the top level of service at the maximum speed for the longest

continuous distance with little or no access control. Collectors provide a medium level of service at a lesser speed for shorter distances by gathering traffic from local roads and linking them with arterials. Local roads consist of all other roads and primarily offer a high degree of access to land with little or no mobility.

Lake View has one roadway classified as the principal rural arterial. State Highway 216 is classified as a main rural arterial.

Lake View has one rural collector road, Central Park Drive, which runs through the south section of Lake View, Tannehill Preserve. All other roads in the corporate limits are local roads.

In 2021, according to ALDOT's Alabama Traffic Data, the average daily traffic count for State Highway 216 was 10,144 vehicles. The arterial roads that feed Central Park Drive showed a daily count of 2,056 cars (Kimbrel Cutoff) and 2,857 vehicles (Tannehill Parkway) in 2021.

These vehicle counts are expected to increase as the population grows with the increased home construction and commercial growth in the Lake View areas, both north and south.

### **Emerging**

The importance of Electric Vehicles (EVs) is growing in Alabama and especially in the Lake View area. EVs have emerged as one of the fastest-growing technological solutions in transportation. Conservative estimates suggest there could be 3 million EVs on American roads by 2025, with more optimistic forecasts indicating that number could be as high as 6.9 million. Due to Mercedes-Benz, Hyundai, Honda, and Mazda Toyota, along with numerous suppliers, Alabama is well-known as one of the nation's leaders in the automotive industry.

With this growing shift toward EVs across the automotive industry, we must make significant investments in the expansion of Alabama's and the development of Lake View's EV infrastructure.

One of the most significant challenges facing the adoption of EVs is the availability of vehicle charging stations to overcome consumer "range anxiety" associated with EVs, including the policies and infrastructure to support them. Indeed, expanding EV charging infrastructure, also known as Electric Vehicle Supply Equipment (EVSE), is critical to achieving increased EV adoption. For example, in 2021, Alabama ranked 47th out of 50 states in charging points per 100,000 vehicles, with 8.4 charging points per 100,000 vehicles.

As EV adoption continues across the country, Alabama is well-placed to generate commercial activity at businesses that offer to charge. By 2030, if the infrastructure exists and adoption trends continue as expected, users of a comprehensive statewide network of publicly accessible EVSE are forecast to spend approximately **\$36 million annually** on goods and services while charging their vehicles in Alabama. Also, by 2030, annual Alabama EV registration fees will provide between \$22 million and \$85 million per year to maintain roads and bridges under medium and high adoption scenarios.

Lake View must be a part of this continued growth and development. Future commercial development should include EVSE and other resources to support the use of these facilities.

### **13. RESIDENTIAL AREAS**

The 2022 City of Lake View Comprehensive Plan sets out a Continued and Future Housing Development Plan to guide where and how growth and development should be accommodated over the next 24 to 36 months. The Continued and Future Housing Plan shows, in a general sense, the desired pattern of future land use for homes and their development in the city. The Continued and Future Housing Development Plan affirms a central policy of housing growth that should grow out from the core of our older established neighborhoods. It is because growth outward from the older established areas allows for the most efficient utilization of city services and existing utilities. In addition, future housing growth may occur in developments that may be annexed into the City of Lake View following successful annexation petitions to the city council.

To manage development and redevelopment following this basic principle, the Continued and Future Housing Development Plan designates Growth Areas, Limited Growth Areas, and Restricted or Non-Growth Areas:

#### **Growth Areas**

Areas where the city wants growth and development to occur. The anticipation is that most residential and nonresidential development will happen in these growth areas over the next three years.

#### **Limited Growth Areas**

Areas that are either primarily developed and therefore have limited development potential; or that have vacant or under-utilized land where the city desires a limited amount of growth and development over the next three years.

## **Restricted Or Non-Growth Areas**

Areas that are potentially unsuitable or are otherwise undesirable for development; in these areas, the city desires to see little or no growth and development over the next three years.

### **Subdivisions**

#### **Wrey Point**

Wrey Point is considered a Restricted or Non-Growth area as this area is unsuitable for additional housing development. However, park and/or recreational growth is potential if open land areas become public property.

#### **Downing Park**

Downing Park is considered a Limited Growth area that is primarily developed and will continue to grow as planned until completion with homes zoned as identified by the Lake View Planning and Zoning Commission.

#### **Olmsted Place**

Olmsted Place is considered a Limited Growth area that is currently mainly developed and will continue to grow as planned until completion with homes zoned as identified by the Lake View Planning and Zoning Commission.

#### **Dillon Hill**

Dillon Hill is a Growth Area currently under development and is scheduled to grow as planned until completion with homes zoned as identified by the Lake View Planning and Zoning Commission. This growth should be completed in the next two to three years.

#### **Million Dollar Lakes**

The Million Dollar Lakes area is partially within Lake View's corporate limit and partially outside Lake View's corporate limits. Therefore, this is considered a Limited Growth area that is primarily developed and will continue to grow as planned until completion with homes zoned as identified by the Lake View Planning and Zoning Commission.



**Growth**

The City of Lake View is open to growth by annexation of contiguous and non-contiguous subdivisions and/or properties. Lake View should remain available and attractive to developers that seek subdivision development and want to be a part of this municipality. Existing or developing areas are encouraged to discuss and seek annexation petitions from the city, and this may be done pursuant but not exclusively to Section 11-42-21, Code of Alabama 1975, for contiguous annexation.

Non-contiguous annexation must follow a legislative process.

Continued growth is expected in and around Lake View. Therefore, a one-hundred (100) foot buffer shall be maintained along all property lines adjoining any existing residential or zoned residential use and industrial development. At the time of development of the site(s), said buffer shall be improved through landscaping and berms to provide a solid visual screen eight (8) feet in height as measured at the property line. When a great buffer is used, park(s) and/or walking trail(s) may be used to improve the buffer.

When there is an established railroad, a seventy-five (75) foot buffer shall be maintained on all property lines adjoining any existing or zoned residential use. The buffer shall be improved with a ten (10) foot sound barrier or berms to provide sound and visual screen as measured at the property line.

**14. COMMUNITY FACILITIES – MUNICIPAL****Library**

Due to the continuous increase in population and the need for additional literacy programs, the City of Lake View would benefit from having a library. Future development should include space for a library within a large facility or a new facility that will provide more space for inventory and meeting space. This can be a part of a county public library system and/or library board and provide public use computers for shared resources. A small facility would need to be staffed by at least one librarian and provide services such as a meeting room, internet access, fax, print, and self-service copy services.

**Parks And Recreation**

The City of Lake View anticipates the construction of parks to support recreational activity in the near future.

## 15. ADA COMPLIANCE

The 2022 City of Lake View Comprehensive Plan sets standards the City seeks to achieve in becoming more ADA compliant.

The Americans with Disabilities Act (ADA), signed into federal law on July 26th, 1990, was created with the purpose of prohibiting discrimination and ensuring equal opportunity to those with disabilities in employment, state and local government services, public accommodations, commercial facilities, and transportation. Title II of the ADA specifically applies to any state or local government and its departments, agencies, or other branches or divisions, and protects the disabled from discrimination due to disability in services or activities provided by state and local government entities. Title II specifically states that “No qualified individual with a disability shall, on the basis of disability, be excluded from participation in or be denied the benefits of the services, programs, or activities of a public entity, or be subjected to discrimination by any public entity” (28 CFR 35.130(a)).

An integral part of the City of Lake View’s comprehensive planning is to ensure there is an ADA Transition plan in progress. The City must do an assessment and evaluation of its current facilities, services, policies, and practices. If it identifies any that may not meet or are inconsistent with the requirements of the Title II regulations, there will need to be modifications to services, policies, and practices.

The ADA also sets forth specific requirements for the preparation of an acceptable transition plan if a municipality is not currently in compliance. At a minimum, the elements of the plan should include:

- Identifying physical barriers in City facilities that limit the accessibility of its programs, activities, or services to individuals with disabilities;
- A detailed outline of the methods to be used to remove these barriers and meet the current standards and accessibility regulations;
- Where structural modifications are required, a schedule for taking the steps necessary to achieve compliance with Title II of the ADA; and

This portion of the comprehensive planning related to ADA will focus on public access to municipal buildings over the next three years. This will ensure that all citizens can access Lake View’s public facilities and programs. The City will be proactive in the next three years to improve walkability and accessibility for

sidewalks and entrances into municipal buildings. Future projects by the City on facilities to improve ADA compliance include:

- Movement of the ADA parking spaces to the front of the parking lot
- Increasing the curb access to municipal buildings
- Making the Lake View Police Department more ADA accessible
- Addressing door handle heights
- Ensuring restrooms are ADA compliant
- Addition of hi-low water fountains in municipal buildings

To accomplish this, the City of Lake View will identify physical obstacles in the public facilities that limit the accessibility of its programs or activities to individuals with disabilities. We must then describe in detail the methods that will be used to make the facilities accessible and specify the schedule for taking the steps necessary to achieve compliance. Suppose the transition to compliance period is longer than one year. In that case, the City shall identify actions that will be taken during each year of the transition period and indicate the official responsible for implementing the plan.

The Building Department, with the cooperation of the Mayor and Lake View City Council, will implement measures to proactively identify and assess obstacles and barriers limiting public access to city facilities. This assessment should include those intersections where pedestrian crossings should not be permitted due to safety considerations, such as high speed or high traffic volume. It should also recognize those areas where compliance would fundamentally alter the nature of the service, program, or activity or in undue financial and administrative burdens.

**16. REVISION APPENDIX**

#	REVISION DESCRIPTION	REVISION DATE

APPROVED DRAFT