

**CITY COUNCIL OF THE CITY OF LAKE VIEW, ALABAMA**

**ORDINANCE NO. 0211132025**

**AN ORDINANCE ANNEXING CERTAIN TERRITORY  
INTO THE CORPORATE LIMITS OF THE CITY OF LAKE  
VIEW, ALABAMA, PURSUANT TO THE PROVISIONS OF  
SECTION 11-42-21 OF THE *CODE OF ALABAMA* (1975).**

**WHEREAS**, pursuant to Section 11-42-21 of the *Code of Alabama* (1975), a property may be annexed into a municipality upon unanimous consent of the property owners;

**WHEREAS**, the City Council of the City of Lake View, Alabama (the “City Council”) has received a Petition for Annexation, a true and correct copy of which is attached hereto as **Exhibit A** hereof (the “Annexation Petition”), from Virginia Ridge Development, LLC, an Alabama limited liability company, by and through its owner, Sherry L. McFarland, and authorized agent, Zach McFarland, requesting certain property located on three adjoining parcels all at unassigned street numbers on Rock House Road (Parcel Identification Numbers 63-24-05-15-0-000-051.002, 63-24-05-15-0-000-035.004, and 63-24-06-14-0-000-053.001), which is depicted on the map attached hereto as **Exhibit B** hereof (the three parcels together, the “Property”), be annexed into the City of Lake View, Alabama (the “City”);

**WHEREAS**, the City Council finds that Virginia Ridge Development, LLC is the sole owner of the property sought to be annexed, that no part of the property sought to be annexed lies within the corporate limits of any other municipality or within the police jurisdiction of any other municipality, that said property is contiguous to the present corporate limits of the City, and that it is in the public’s interest that said property be annexed into the City of Lake View, Alabama;

**THEREFORE, BE IT ORDAINED** by the City Council of the City of Lake View, Alabama, while in regular session on Thursday, November 13, 2025, at 6:00 p.m. as follows:

**Section 1.** The City Council hereby finds that the foregoing recitals are true and correct and that the Property, as more particularly described in **Exhibits A and B**, is contiguous to the City and not within the corporate limits of another municipality or the police jurisdiction of any other municipality.

**Section 2.** The City hereby accepts the Petition for Annexation from Virginia Ridge Development, LLC and approves the annexation of the Property into the corporate limits of the City.

**Section 3.** Pursuant to the provisions of Section 11-42-21 of the *Code of Alabama* (1975), the boundary lines of the City of Lake View, Alabama, are extended and rearranged to include within its present corporate limits the Property, consisting of the real property more particularly described in **Exhibits A and B**.

**Section 4.** The City Clerk is directed to file a certified copy of the Annexation Petition and a certified copy of this Ordinance with the Judge of Probate, Tuscaloosa County, Alabama.

**Section 5.** In no case shall the City bear any costs, fees, or other sums related to enacting this Ordinance or effecting the annexation and terms authorized herein. The City shall not be responsible for fees or dues that may become payable upon annexation.

**Section 6.** This Ordinance shall become effective upon publication as required by law.

**ADOPTED** this the 13<sup>th</sup> day of November, 2025.

  
ADRAIN DUDLEY, PhD, MAYOR

ATTEST:

  
Tawana Witherspoon, City Clerk

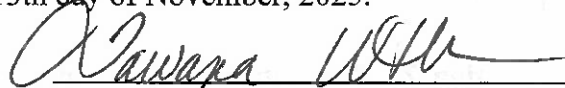
**CERTIFICATION OF CITY CLERK**

STATE OF ALABAMA     )  
TUSCALOOSA COUNTY    )

I, Tawana Witherspoon, City Clerk of the City of Lake View, Alabama, do hereby certify that the above and foregoing is a true and correct copy of an Ordinance duly adopted by the City Council of the City of Lake View, Alabama, on the 13<sup>th</sup> day of November, 2025.

The above and foregoing Ordinance was published on the 13th day of November, 2025, by posting copies thereof at Lake View City Hall, the Lake View Club, and DJ's Food Mart.

Witness my hand and seal of office this 13th day of November, 2025.

  
Tawana Witherspoon, City Clerk



# EXHIBIT A

## *Annexation Petition*

## City of Lake View Annexation Petition

To the City of Lake View:

We the undersigned, representing all of the owners of all of the hereinafter described real property do hereby execute and file with the City Clerk this written petition requesting that our property hereafter described, be annexed into the City of Lake View, under authority of Sections 11-42-20 through 11-42-24, Code of Alabama 1975.

Said property is described as follows:

Property Address: Rockhouse Road

Tax Parcel Identification #: 63-24-05-15-0-000-051.002, 63-24-05-15-0-000-036.004, 63-24-06-14-0-000 053.001

### (Deed or Legal Description Attached)

We further certify that said property is contiguous to the City of Lake View and that none of the property lies within the corporate limits of another municipality. We further certify that all of the property included in the above description which lies in the police jurisdiction of both annexing municipality and another municipality is located closer to the annexing municipality than to the other municipality as required by Section 11-42-21, Code of Alabama, 1975. A map of said property is hereto attached.

We do hereby request that the City Council and the City Clerk give such notice, hold such hearings and adopt such ordinances and do all such things or acts as is required by law so that the corporate limits of the City of Lake View shall be arranged so as to include such territory.

IN WITNESS WHEREOF, we have hereunto subscribed our names this the

18 day of September, 2025

Owners(s):

Sherry L. McFarland

Sherry L. McFarland

(Please Print)

Telephone Number(s): 205-229-4182

Sherry L. McFarland

Owners Signature

1404 Canyon Lane  
Hoover, AL 35244

Address if different from Above

Owners Signature

Address if different from Above

Owners Signature

Address if different from Above

Owners Signature

Address if different from Above

## AUTHORIZATION TO ACT AS APPLICANT

I, Sherry L. McFarland, being owner of the property which is the subject of this application hereby authorize Zach McFarland to act as my representative with the City of Lake View's (Board of Zoning, and/or Planning Commission, and/or City Council), as required by the type of request listed on the attached application forms.

Property Owner's Signature:

Sherry L. McFarland

Date: 9-18-25

**PETITION FOR ANNEXATION INTO THE CITY OF LAKE VIEW, ALABAMA**

COMES NOW, Virginia Ridge Development LLC (the "Owner") and states that the Owner owns the following described property, which is contiguous to the City of Lake View, Alabama (the "City"), and which is not within the corporate limits or police jurisdiction of any other municipality, and hereby requests that the property be annexed to the City:

Property Owner(s) (full legal names): Virginia Ridge Development LLC

Parcel ID(s): 63-24-05-15-0-000-051.002, 63-24-05-15-0-000-035.004, 63-24-06-14-0-000 053.001

Address of Parcel(s): Rockhouse Road

Mailing address of owners, if different: 1404 Canyon Lane Hoover, AL 35244

Phone: 205-229-4782 Email: smcfarland@cityautosales.net

The Deed or Legal Description of the property along with a map of the property, showing its relationship to the corporate limits of the City, are attached hereto.

The Owner agrees that in no case shall the City bear any costs, fees, or other sums related to enacting this Ordinance or effecting the annexation and terms authorized herein. The City shall not be responsible for the payment of any applicable fire district dues that may become payable upon annexation.

The undersigned represents that the undersigned has the actual authority to sign and execute this Petition for Annexation on behalf of the Owner and the undersigned acknowledges that the City and its agents, officers, and employees are relying upon this as a material representation.

IN WITNESS WHEREOF and intending to be legally bound hereby, the Owner has executed the foregoing Petition for Annexation into the City of Lake View, Alabama, and avers that the representations contained herein are material, true, and correct.

If there are multiple owners, ALL owners must sign this Petition. Therefore, additional signature pages should be attached as necessary.

FOR: THE OWNER

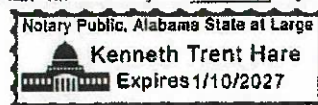
Signature:

Sherry L. McFarland  
By: Sherry L. McFarland  
Its: Owner

STATE OF Alabama  
COUNTY OF Jefferson

I, the undersigned, a Notary Public in and for said County in said State, do hereby certify that the Owner by and through Sherry L. McFarland whose name is signed to the foregoing Petition for Annexation into the City of Lake View, Alabama, and who is known to me, acknowledged before me on this day, that being informed of the contents of said instrument, he/she executed same voluntarily on the date shown by his/her signature.

Given under my hand and official seal, the 18 day of September, 2025.



Kenneth Trent Hare  
Notary Public

My commission expires: 1-10-2027

Return to the City of Lake View, Alabama, 22757 Central Park Drive, Lake View, AL 35111



**DEED Book 2020 Page 22025**

Recorded: 10/8/2020 3:53:43 PM  
Ward O. Robertson, III, Probate Judge  
Tuscaloosa County, Alabama  
Term/Cashier: PRG-RECORDS7/JMC/STEEB  
Trans: 1609914  
Probate Judge Fee \$2.00  
Deed Tax \$196.00  
Recording Fee - By Page Count \$9.00  
Additional Name Fee \$5.00  
Source of Title \$2.00  
Total: \$214.00

**THIS INSTRUMENT WAS PREPARED BY:**

Sanford E. Gunter, Esq.  
SHIELDS & GUNTER, P.C.  
2703 7<sup>th</sup> Street  
Tuscaloosa, AL 35401-1858

Source of Title: Deed Book 1065, Page 745  
Deed Book 1247, Page 439  
Estate Page Deed Book 2019, Page 21872  
Estate Page Deed Book 2019, Page 21873  
Estate Page Deed Book 2019, Page 21874

STATE OF ALABAMA

TUSCALOOSA COUNTY

**WARRANTY DEED**

KNOW ALL MEN BY THESE PRESENTS, that in consideration of One Hundred Ninety-six Thousand and No/100 (\$196,000.00) Dollars, by contract of sale, and other good and valuable consideration, which may be set forth more specifically hereinafter to the undersigned Grantor (whether one or more), in hand paid by the Grantee herein, the receipt whereof is acknowledged, we, MARY JANE SMITHERMAN, a married woman, individually and as Co-Personal Representative of the Estate of Joseph Henry Zamiatala, Deceased; AMY T. ZAMIALATA, a single woman, individually and as Co-Personal Representative of the Estate of Joseph Henry Zamiatala, Deceased; STEVE ZAMIALATA (a/k/a Steven T. Zamiatala), a married man; and MIKE ZAMIALATA (a/k/a Brent Blake Zamiatala), a single man, of 13595 Rock House Road, Vance, Alabama 35490, (herein referred to as Grantor, whether one or more), grant, bargain, sell and convey unto VIRGINIA RIDGE DEVELOPMENT, LLC, an Alabama limited liability company, of 5145 Lake Crest Circle, Hoover, Alabama 35226, (herein referred to as Grantee, whether one or more), the following described real estate, situated in Tuscaloosa County, Alabama, to-wit:

**PARCEL 1:** A part of the SW 1/4 of Section 14, and part of the SE 1/4 of the SE 1/4 of Section 15, Township 20 South, Range 6 West, in Tuscaloosa County, Alabama, being more particularly described as follows: As a POINT OF BEGINNING, start at the Northwest corner of the SW 1/4 of the SW 1/4 of said Section 14; thence run in a Westerly direction along the North boundary of the SE 1/4 of the SE 1/4 of Section 15 for a distance of 166.74 ft. to a point on the East right-of-way margin of Rock House Road, a 50 ft. right-of-way; thence with a deflection angle of 47 degrees 31 minutes 56 seconds to the left, run in a Southwesterly direction along the East right-of-way margin of Rock House Road for a distance of 149.34 ft. to a point; thence with a deflection angle of 132 degrees 34 minutes 47 seconds to the left, run in an Easterly direction for a distance of 178.74 ft. to a point; thence with a deflection angle of 60 degrees 08 minutes 36 seconds to the right, run in a Southerly direction for a distance of 191.89 ft. to a point on the West boundary of the SW 1/4 of Section 14; thence with a deflection angle of 28 degrees 33 minutes 56 seconds to the right, run in a Southerly direction along the West boundary of the SW 1/4 of the SW 1/4 for a distance of 343.76 ft. to a point; thence with a deflection angle of 132 degrees 31 minutes 37 seconds to the left, run in a Northeasterly direction for a distance of 191.09 ft. to a point; thence with a deflection angle of 7 degrees 04 minutes 25 seconds to the left, continue in a Northeasterly direction for a distance of 116.35 ft. to a point; thence with a deflection angle of 11 degrees 39 minutes 00 seconds to the right, continue in a Northeasterly direction for a distance of 152.03 ft. to a point; thence with a deflection angle of 21 degrees 05 minutes 30 seconds to the right, continue in a Northeasterly direction for a distance of 143.00 ft. to a point; thence with a deflection angle of 78 degrees 55 minutes 30 seconds to the right, run in a Southeasterly direction for a distance of 81.40 ft. to a point; thence with a deflection angle of 86 degrees 33 minutes 00 seconds to the left, run in a Northeasterly direction for a distance of 121.16 ft. to a point; thence with a deflection angle of 9 degrees 51 minutes 30 seconds to the right, continue in a Northeasterly direction for a distance of 133.93 ft. to a point; thence with a deflection angle of 115 degrees 47 minutes 30 seconds to the right, run in a Southerly direction for a distance of 66.64 ft. to a point; thence with a deflection angle of 46 degrees 02 minutes 09 seconds to the right, run in a Southwesterly direction for a distance of 144.28 ft. to a point; thence with a deflection angle of 9 degrees 00 minutes 30 seconds to the left, continue in a Southwesterly direction for a distance of 265.96 ft. to a point; thence with a deflection angle of 21 degrees 20 minutes 06 seconds to the left, continue in a Southwesterly direction for a distance of 99.07 ft. to the Northwest corner of Lot 17, Block 136, Million Dollar Lake Twenty-Seventh Section, as recorded in the Probate Office of Tuscaloosa County, Alabama, in Plat Book 11 at Pages 92 and 93; thence with a deflection angle of 116 degrees 03 minutes 08 seconds to the left, run in an Easterly direction along the North boundary of Lot 17 for a distance of 208.70 ft. to the Northeast corner of Lot 17, said point lying on the West right-of-way margin of a 50 ft. right-of-way; thence with a deflection angle of 62 degrees 02 minutes 28 seconds to the left, run in a Northeasterly direction for a distance of 225.69 ft. to a point; thence with a deflection angle of 62 degrees 01 minutes 55 seconds to the right, run in an Easterly direction along the North boundary of Block 133 of said Million Dollar Lake for a distance of 1,328.06 ft. to a point; thence with a deflection angle of 91 degrees 05 minutes 38 seconds to the left, run in a Northerly direction for a distance of 470.33 ft. to a point on the North boundary of the SW 1/4 of Section 14; thence with a deflection angle of 88 degrees 52 minutes 57 seconds to the left, run in a Westerly direction for a distance of 2903.89 ft. to the POINT OF BEGINNING, said parcel containing 21.86 acres. LESS AND EXCEPT that certain parcel of land conveyed to Charles D. Dickey and wife Janet T. Dickey on July 16th, 1993, and recorded in Deed Book 1753, at Page 601 in the Probate Office of Tuscaloosa County, Alabama.

**PARCEL 2:** A parcel of land located in the Northeast Quarter of the Southeast Quarter of Section 15, Township 20 North, Range 6 West, Tuscaloosa County, Alabama, and more particularly described as follows: BEGIN at the Southeast corner of said Northeast Quarter of Southeast Quarter Section 15; thence North along the East boundary line of said Northeast Quarter of the Southeast Quarter a distance of 227 feet to an iron pipe which is on the Eastern margin of the right of way of a county public road; thence with an interior angle of 33 degrees and 30 minutes run Southwest along the Eastern margin of said road right of way a chord distance of 279 feet, more or less, to an iron pipe which is on the Eastern margin of said road

right of way, and also on the South boundary line of said Northeast Quarter of Southeast Quarter Section 15; run thence East along the South boundary line of said Northeast Quarter of Southeast Quarter a distance of 167 feet more or less, to the POINT OF BEGINNING.

**PARCEL 3:** A parcel of land located in the Northwest Quarter of Southwest Quarter, Section 14, Township 20 South, Range 6 West, Tuscaloosa County, Alabama, and more particularly described as follows: BEGIN at the Southwest corner of said Northwest Quarter of Southwest Quarter; run thence East along the South boundary line of said Northwest Quarter of Southwest Quarter a distance of 420 feet to an iron pipe; turn thence left 91 degrees and 15 minutes and run North a distance of 227 feet to an iron pipe; turn thence left 88 degrees and 45 minutes and run West a distance of 420 feet to an iron pipe, which is on the West boundary line of said Northwest Quarter of Southwest Quarter; run thence South along the West boundary line of said Northwest Quarter of Southwest Quarter a distance of 227 feet to the POINT OF BEGINNING.

Address of Unimproved Property: Ski Lake Road, McCalla, Alabama 35111.

This conveyance is hereby made subject to restrictive covenants, rights of way, easements and other reservations of record in the Probate Office of Tuscaloosa County, Alabama, that apply to the above described real property.

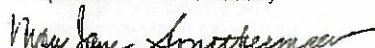
The property conveyed hereinabove is not now, nor has it ever constituted, the homestead of the Grantor, or Grantor's spouse, if any.

**TO HAVE AND TO HOLD** to the said Grantee, their successors and assigns forever.

And we do for ourselves and for our successors and personal representatives covenant with the said Grantees, their successors and assigns, that we are lawfully seized in fee simple of said premises; that they are free from all encumbrances, unless otherwise noted above; that we have a good right to sell and convey the same as aforesaid; that we will and our successors and personal representatives shall warrant and defend the same to the said Grantees, their successors and assigns forever, against the lawful claims of all persons.

**IN WITNESS WHEREOF**, we have hereunto set our hands and seals, this 8<sup>th</sup> day of October, 2020.

  
MARY JANE SMITHERMAN, Individually

  
MARY JANE SMITHERMAN, Co-Personal Representative  
of the Estate of Joseph Henry Zamiatala, Deceased

  
AMY T. ZAMIATALA, Individually

  
AMY T. ZAMIATALA, Co-Personal Representative of the  
Estate of Joseph Henry Zamiatala, Deceased

  
STEVE ZAMIATALA

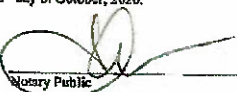
  
BLAKE ZAMIATALA

STATE OF ALABAMA \*  
TUSCALOOSA COUNTY \*

I, the undersigned, a Notary Public in and for said County, in said State, hereby certify that MARY JANE SMITHERMAN, a \_\_\_\_\_ married woman, individually and as Co-Personal Representative of the Estate of Joseph Henry Zamiatala, Deceased, whose name being signed to the foregoing conveyance, and who being known to me, acknowledged before me on this day, that, being informed of the contents of the conveyance, the Grantor executed the same voluntarily with full authority on the day the same bears date.

Given under my hand and official seal this 8<sup>th</sup> day of October, 2020.

My Commission Expires: 2/2/22

  
Notary Public



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I, the undersigned, Notary Public in and for said County, in said State, hereby certify that AMY T. ZAMIALALA, a single woman, individually and as Co-Personal Representative of the Estate of Joseph Henry Zamialala, Deceased, whose name being signed to the foregoing conveyance, and who being known to me, acknowledged before me on this day, that, being informed of the contents of the conveyance, the Grantor executed the same voluntarily with full authority on the day the same bears date.

Given under my hand and official seal this 8<sup>th</sup> day of October, 2020.

Notary Public

•

I, the undersigned, a Notary Public in and for said County, in said State, hereby certify that STEVE ZAMATIALA (aka Steven T. Zamiatiala), a \_\_\_\_\_ married man, whose name being signed to the foregoing conveyance, and who being known to me, acknowledged before me on this day, that, being informed of the contents of the conveyance, the Grantor executed the same voluntarily on the day the same bears date.

Given under my hand and official seal this 8<sup>th</sup> day of October, 2020.

~~Notary Public~~

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i, the undersigned, a Notary Public in and for said County, in said State, hereby certify that **BLAKE ZAMITALA** (a/k/a Brent Blake Zamitala), a single man, whose name being signed in the foregoing conveyance, and who being known to me, acknowledged before me on this day, that, being informed of the contents of the conveyance, the Grantor executed the same voluntarily on the day the same bears date.

Given under my hand and official seal this 8<sup>th</sup> day of October, 2020.

Notary Public

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**PROPERTY OWNERS ADJACENT TO SITE**

**SIMPSON JESSE & AMY K KUHN**

**13627 ROCK HOUSE RD**

**HOPE CHARLES W & LORETTA HOPE**

**13651 ROCK HOUSE RD**

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# **EXHIBIT B**

*Map of the Property*

**Tuscaloosa County Alabama Public GIS**  
W19/M109 - 123.5.1c-023.11Pub - TuscaloosaAL - 11.09.2025

**Parcel Details**  
[FindLink](#) [PRG](#) [NewArch](#) [Back](#) [Print](#)

Account Pin STR 91919 : 4098 : 15-205-06W  
Parcel No: 63 24 05 15 0 000 051.002  
Prop Addr: ROCK HOUSE RD  
Tax Dist: 02 - County South Exemption: Not Exempt  
Deeded Acres: 1.06ac Cite: 0.87ac  
Deed Bk, Pg, Date: 2020 22025 10-08-2020  
Plat Info: Book Page  
Sub Info: Sub Block Lot  
Subdivision:  
Owner:  
Name: VIRGINIA RIDGE DEVELOPMENT LLC  
Address: 5145 LAKE CREST CIR  
City, State, Zip: BIRMINGHAM, AL 35226

**2024 Values**

Land Total:	\$2,900
Building & Improvements Total:	\$0
Total Appraised Value:	\$2,900
Yrly Tax:	\$15.66 for 2025

**Payment History**

Tax Year	Date Paid	Amount
2025	10/23/2025	\$15.66
2024	10/24/2024	\$15.66
2023	11/08/2023	\$15.66

