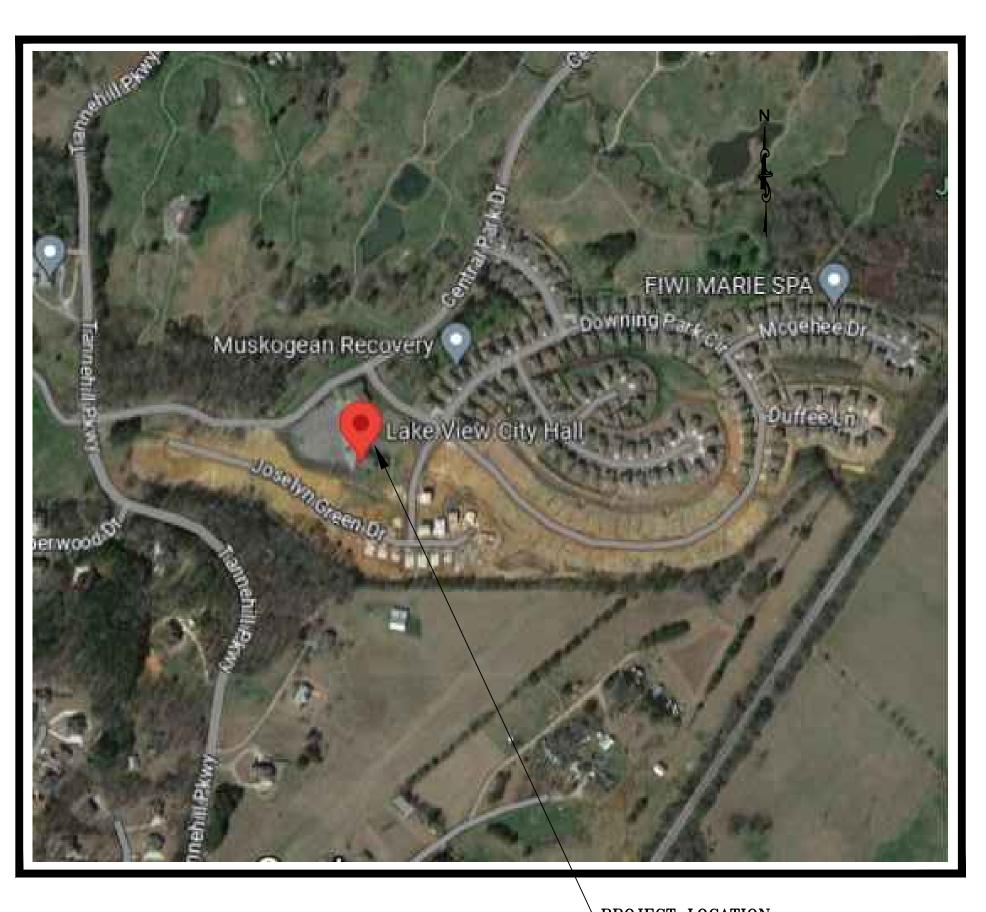
Lake View, Alabama City Admin Building & Library

City Of Lake View, Alabama Tuscaloosa, Alabama

Contract No. 22.009.03

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AREA MAP

No Scale

City of Lake Vi New City Build

City of Lake View

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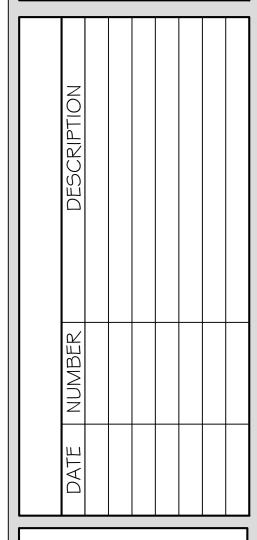
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8/03/23



DETAILS

PROJECT: Building Renovation

Location: Lake View, Alabama

HagerCo-LLC

keithlhager@icloud.com Keith L. Hager, PE 1025 MONTGOMERY HIGHWAY, S 110 Birmingham, AL 35216 Direct: 205.229.1738

Title Sheet

A0.0Sheet 01 Of 15

Recommended for Approval

Design Enginee

Area Map

State Of Alabama

PROJECT LOCATION-CITY OF LAKE VIEW

TUSCALOOSA, ALABAMA

Recommended for Approval

Mayor, City of Lake View

General Notes

1.0 General Notes

- 1.1 Contractor shall notify Architect of any discrepancies found in the Drawings or Specifications prior to proceeding with construction. Contractor shall bear responsibility for verifying compliance of the shop Drawings with the Plans prior to ordering materials or beginning fabrication.
- 1.2 Contractor shall be responsible for complying with all applicable Codes or Statutes with regard to the construction of this Project, whether specifically referred by the Contract Documents or not.
- 1.3 NOT USED
- 1.4 Contractor shall verify and coordinate specific requirements for Owner-provided and/or installed Equipment and equipment provided and installed under separate contract.
- 1.5 All Contractors shall be responsible for coordinating their work with that of other contractor's work included in the Contract Documents. All correspondence to and from Subcontractors shall be routed through the General Contractor.
- 1.6 Adjacent Work which is damaged during execution of this contract Work, shall be the responsibility of the Contractor who damages such to repair to the satisfaction of the Owner and Architect prior to final acceptance of the Work.
- 1.7 Contractor shall comply with all requirements of the current Geotechnical Report. See Appendix A in the project manual.
- 1.8 Contractor to provide all government-required signage necessary for Certificate of Occupancy (Fire lane signage, "DO NOT BLOCK DOOR", etc.).
- 1.9 The Architect assumes the Contractor has included in his bid the highest quality and greatest quantity for the purpose of resolving any conflicts in the Construction Documents which are implied or inferred.
- 1.10 The Contractor shall field verify all conditions and dimensions prior to commencing any Work.
- 1.11 The General Contractor shall be responsible for the security and safety of the Site as required in the Contract Documents. This shall include all temporary fencing, barricades, etc. required to secure the site. Including items not specifically noted in the contract, but required for security or safety of the site.
- 1.12 All fire rated construction shall conform with U.L. tested standards and/or local requirements, whichever is more stringent.
- 1.13 The project documents provide that no asbestos products, PC's or other substances deemed toxic or hazardous under applicable Federal or State laws, rules, regulations or ordinances, are to be contained or incorporated in the Project Work. Further, all contractors, subcontractors, manufacturers and suppliers whose equipment, materials and products are incorporated in the work shall provide a certification acceptable to owner warranting that their equipment, materials or products are free from asbestos, asbestos products, PC's or other substances deemed hazardous by applicable federal or state laws, rules, regulations, or ordinances.
- 1.14 Contractor to include in bid, all miscellaneous material including, but not limited to fasteners, hangers, furring strips, blocking, trim and other materials not specifically indicated but required for a complete installation of their work.
- 1.15 Contractors are responsible for all work described in contract documents. Contractors shall review all documents, as there is no limit on where description of work is included. No change orders will be considered for failure to review all contract documents. General Contractor shall be responsible for distribution of documents to all trades performing work on the facility.
- 1.16 Unless otherwise stated by the Contract Documents, the Contractor is responsible for obtaining all permits required for construction, including any fee's assessed by local authorities.
- 1.17 No work defective in workmanship or quality or deficient in any requirements of the contract documents will be acceptable despite the architect's/owners failure to discover or point out defects or deficiencies during construction. Defective work revealed or discovered within the time required by the guarantee shall be replaced by work conforming to the intent of the contract. No payment, either partial or final, shall be construed as an acceptance of defective work of improper materials.
- 1.18 Shall any portion of the contract documents prove to be unenforceable, such enforceability shall not extend to the remainder of the contract nor shall it void any other provisions of the contract.
- 1.19 Contractor shall provide miscellaneous labor for unloading and storage of any owner supplied equipment as required by the documents. Coordinate with Owner for additional information regarding scheduling, scope, etc.
- 1.20 The Contractor is responsible for maintaining a current set of construction documents (including any written addenda construction bulletins, supplemental instructions, etc.) on site during construction. The Contractor shall indicate on these documents all approved changes per specifications.
- 1.21 NOT USED.
- 1.22 Contractor is responsible for proper storage and handling of all material on-site. Material damaged due to improper handling, or inadequate protection during storage shall be repaired or replaced prior to final acceptance.
- 1.23 General Contractor shall provide Contractor's Punch List prior to requesting final inspection. Final inspection will not be scheduled until the General Contractor's punch list is received by the Architect.

2.0 Sitework Notes:

- 2.1 Foundations have been designed for allowable soil bearing as noted on Structural Drawings. The General Contractor shall be responsible for coordinating inspection of soil conditions after excavation with Owner's testing service to determine if bearing capacity is sufficient and maintaining excavation in such a away that the bearing capacity is maintained until placement of footing
- 2.2 Over-excavation of foundations shall be filled only as directed by the Structural Engineer.

- 2.3 Provide 18" x 24" concrete splash blocks at all downspouts (U.N.O.).
- 2.4 Refer to Civil drawings for paving thickness, curb types, longitudinal and horizontal control.
- 2.5 For building location dimensions and set back refer to civil drawings. Contractors shall layout buildings completely prior to beginning foundations and report any discrepancies to the architect/civil engineer for resolution.
- 2.6 Coordinate transformer pad locations with Electrical and Civil drawings. Transformer pads shall comply with all requirements of local power company and local authorities.
- 2.7 Any damage by Contractors or their subcontractors to existing asphalt pavement and/or existing landscaping shall be repaired at reasonable time of discovery.
- 2.8 Contractors shall verify all on-site conditions and notify the Architect of any discrepancies or omissions, within reasonable time of discovery.
- 2.9 All sidewalks are to be light broom finished unless noted otherwise; all sidewalks are to match.
- 2.10 Not used.
- 2.11 Final connections to underground utility lines at 5' outside the Building shall be made by the applicable Respective Trade Contractor. Locations of the lateral shall be confirmed with civil at time of bid and again prior to installation. No change orders will be considered for failure to coordinate with civil prior to bid or installation.
- 2.12 All exterior sidewalk expansion joints to receive traffic bearing, pourable sealant.
- 2.13 All control joints at sidewalks to be tooled U.N.O.
- 2.14 Contractor is responsible for maintaining consistent curb heights (6" typical U.N.O.) as indicated on drawings, except at ramps and flush curb conditions where paving and top of concrete are flush. (Refer to civil drawings.)
- 3.0 Concrete Notes:
- 3.1 Design loads are as specified by the Structural Drawings.
- 3.2 Interior floor slabs are to be finished to receive floor finishes as noted in the Finish Schedule.
- 3.3 Provide vapor barrier under all interior slab-on-grade concrete as specified (unless specifically noted otherwise).

4.0 Masonry Notes:

- 4.1 All clay masonry veneer shall be 100% solid material at corbel and reveal trim work and at outside corners of the soldier course. Provide special shapes as indicated on drawings. (No cores shall be visible in finished work.)
- 4.2 Provide seismic veneer ties.

5.0 Steel Notes:

- 5.1 Contractor shall coordinate miscellaneous structural or non-structural steel members shown architecturally (but not structurally) with other Contractors work.
- 5.2 All miscellaneous steel is required to be galvanized or primed. (Refer to specifications.) No raw steel will be allowed unless specifically noted.
- 6.0 Wood Notes:
- 6.1 Contractor shall be responsible for coordinating and providing required blocking for any/all wall mounted Equipment and Fixtures.
- 6.2 All wood decking, sheathing and in-wall blocking used shall be fire retardant lumber as required and accepted by the Building Inspection Department.

7.0 Thermal & Moisture Protection Notes:

- 7.1 All flashing details are to be in accordance with SMACNA "Architectural Sheet Metal Manual", Sixth Edition, dated 2003 or the most current version at time of installation.
- 7.2 All gutters, downspouts, gravel stops, fascias, flashing, louvers, screens, metal structures and any roof penetrations are to be installed and fabricated as per SMACNA standards or in accordance with roofing Manufacturer's recommendations as required to obtain Manufacturer's warranties required by the specifications.
- 7.3 R-ratings for assemblies are to meet or exceed the energy efficiency requirements of the current Energy Code, or values below whichever is greater. Minimum requirements are as follows:

 Walls = R-13 + R-3.8 continuous; Roof = R-20.
- 7.4 Contractor shall provide flashing for all window, storefront and door jambs, sills and heads. Flashing shall match the color of the storefront. Submit Shop Drawings prior to start of Construction.
- 7.5 Caulk the entire interior and seal the exterior perimeter of all doors, storefront, windows and any penetrations.
- 7.6 All exterior doors are to be fully weatherstripped with thresholds set in caulking bed (unless noted otherwise). Provide rain guards at head of all exterior doors.
- 7.7 Contractor is to provide a thermal barrier between the metal deck and the insulation. Appropriate thermal barrier is dictated in the Foam Plastics Insulation section of the current Building Code. Thermal barrier may be omitted only if the Contractor can provide test data, which states that the insulation intended for use on this Project passes UL 1256 and/or FM 4450.
- 7.8 Contractor to provide sill flashing at aluminum storefront or system, sill flashing shall be by fabricator of aluminum window wall or storefront system and shall match the color of the storefront.
- 7.9 Provide bituminous dampproofing over all C.M.U., where architectural veneer or brick veneer occurs and behind metal cornice panels.
- 7.10 Sealant, caulking, and flashing, etc. locations shown on drawings are not intended to be all-inclusive. Follow manufacturer's recommendations and standard industry building practices.

- 7.11 Seal all penetrations at exterior building shell to ensure weather tightness.
- 7.12 Provide waterproofing, protection board, and drain rock at all locations where exterior finish grade is above finish floor.
- 7.13 Provide moisture barrier at all gypsum sheathing. See specifications.

8.0 Door Notes:

- 8.1 Hollow metal door frames located in exterior block walls shall be filled with grout.
- 8.2 Exterior and interior passage doors where operable hardware is provided shall be equipped with handles, pulls, latches, locks and other operating hardware devices having a shape that is easy to grasp with one hand and does not require tight grasping, thigh pinching or any wrist-twisting motion to operate. All hardware shall meet ADA requirements.
- 8.3 To aid blind, visually impaired persons or persons with low vision capabilities, doors leading to loading docks or platforms, boiler rooms, stages, electrical equipment rooms, etc. shall be made readily identifiable to the touch by a textured surface on the door handle, knob, pull or other operating hardware. All hardware shall meet ADA requirements.
- 8.4 Hardware Supplier to verify that all door hardware installed on this project meets the requirements of the Americans with Disabilities Act (ADA). Notify any deficiencies to the Architect for resolution prior to bid.
- 8.5 Unless noted otherwise, locate the edge of the hinge side jamb 4" from inside the face of the perpendicular partition.

9.0 Finishes Notes:

- 9.1 All walls in toilets shall be concrete block or water resistant gypsum board (U.N.O.) in accordance with the Floor Plans and Finish Schedule. (See Finish Schedule for particular requirements.) Walls with tile shall be on the backer board as specified.
- 9.2 Clean and prime all surfaces prior to painting in accordance with the painting Manufacturer's recommendations. Paint all six surfaces of doors.
- 9.3 Metal access panels and electrical panel louvers shall not be painted with latex paint. Paint panels with oil based gloss enamels matching Manufacturer's recommendations.
- 9.4 Metal stud gauges and bracing requirements for interior partitions shall be as recommended and/or required by the stud Manufacturer (and all applicable Codes) for each specific condition unless noted otherwise.
- 9..5 NOT USED.
- 9.6 Interior finishes shall meet or exceed requirements for flame spread and smoke developed as defined in the applicable codes.
- 9.7 Light gauge framing is shown as schematic and shall be confirmed in field. Subcontractor to include all secondary supports, bracing, misc. material, etc. required for complete installation. Suspension of stud framing from roof deck is strictly prohibited.
- 9.8 All unfinished components exposed to view or weather shall be painted. Refer to specifications.
- 9.9 Light gauge framing shall not be allowed below grade. Provide CMU or concrete foundation wall to minimum first course above grade.

15.0 Plumbing Notes:

- 15.1 Toilets shall be handicapped accessible as required by applicable Laws, Codes & Statutes, and shall meet ADA requirements
- 15.2 The entire structure shall be sprinklered in accordance with applicable Codes. Contractor shall provide Shop Drawings and obtain all requisite approvals prior to installation.
- 16.0 Electrical Notes:
- 16.1 Electrical subcontractor shall submit detailed layout of all electrical equipment prior to beginning installation.

17.0 Fire Department Notes:

- 17.1 No portion of the Building shall exceed 500 ft. (or code maximum) from a fire hydrant for the distribution of the fire hose.
- 17.2 Provide a sufficient number of 2A rated fire extinguishers in order that all portions of the Building are within 75 ft. travel distance of said extinguisher; and so that at least one 2A rated fire extinguisher is provided for each 3,000 SF of floor space or portion thereof.
- 17.3 Every building shall be accessible to Fire Department apparatus by way of access roadways with all-weather driving surface of not less than 20 ft. of unobstructed width, with adequate roadway turning radius capable of supporting the imposed loads of fire apparatus and having a minimum vertical clearance of 13 ft. 6 in.
- 17.4 Where exit lights, signs or the exits themselves are not visible from the exit approach, directional signs indication the way of egress shall be provided as shown on Drawings.
- 17.5 Separate or emergency source of illumination shall be provided in the following occupancies: Windowless Buildings interior egress corridors with no natural illumination occupant capacities exceeding 150 persons.
- occupant capacities exceeding 150 persons.
- 17.6 Knox boxes shall be provided at all buildings for fire personnel entry. Contractor shall confirm mounting locations and any specific requirements with local authorities prior to submitting the bid.

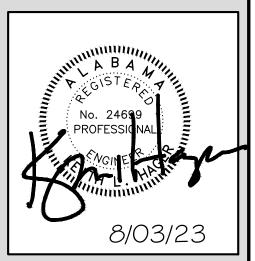
END OF NOTES

A PROJECT FOR: City of Lake View

City of Lake View New City Building

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DATE NUMBER
DESCRIPTION

DETAILS

PROJECT:
Building Renovation

Location: Lake View, Alabama

HagerCo-LLC

keithlhager@icloud.com
Keith L. Hager, PE
1025 MONTGOMERY
HIGHWAY, S 110
Birmingham, AL 35216
Direct: 205.229.1738

General Notes

A0.1Sheet 02 Of 15

- General Notes (Applies To All Sheets)
- 1. HagerCo, LLC shall not be in control of, or charge of, and shall not be responsible for actual construction means, methods, techniques, procedures, or safety precautions and programs in connection with the work, or for the acts or omissions of contractors or any other persons not under the employment of HagerCo, LLC.
- 2. Work performed under this contract shall interface smoothly with any other work being performed by other contractors/subcontractors and utility companies. It will be necessary for the contractor to coordinate and schedule his/her activities accordingly.
- 3. Contractor, shall without additional expense to the owner, be responsible for obtaining all necessary licenses and permits, including building permit and for complying with any applicable federal, state and local codes and regulation in connection with the prosecution of work.
- 4. Contractor shall not willingly proceed with any construction when it is obvious that unknown obstructions and/or differences exist that may not have been known during design. Such conditions shall be immediately brought to the attention of the engineer of record. The contractor shall assume full responsibility for all necessary revisions due to failure to give such notification.
- 5. Contractor shall bring any discrepancies in plans, site conditions, and prior work to the engineer of record's attention before any additional work is performed. Contractor shall notify engineer of record if any discrepancies are found in the field which may impede the progress of construction due to unforeseen circumstances. Clarification shall be writing prior to proceeding with work. If contractor proceeds with 43. All erosion and sediment control measures shall be installed, maintained and modified per work without prior written approval of clarification, work shall be corrected or replace at contractor's time and expense.
- 6. Contractor is responsible for locating and marking all existing utilities prior to start of construction. The contractor is cautioned that the location and/or elevation of existing utilities are shown on these plans is based on records of various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The location of all existing utilities must be verified in the field by the contractor prior to beginning construction. Any damage incurred to existing utilities shall be repaired properly and immediately at no additional cost to the owner.
- 7. Contractor is responsible for the repair of any property damage caused from construction including but not limited to ROW, public utilities, pavement, fences, curb
- 8. Contractor is responsible for contacting all appropriate utility companies prior to start up of construction.
- 9. Contractor is responsible for damage to any existing item and material inside or outside construction limits.
- 10. Contractor shall coordinate removal, relocation and connection of utilities with appropriate utility company.
- 11. Contractor shall coordinate new and existing utility service with local inspector for the approved utility plans for this project.
- 12. Contractor shall verify benchmark for site elevations prior to ground breaking.
- 13. Topographic datum shown hereon is assumed unless otherwise noted.
- 14. All elevations are in feet.
- 15. All contour lines are in one foot intervals unless marked otherwise noted.
- 16. Contractor shall verify scope of work prior to construction.
- 17. All dimensions are to BACK of curb, unless noted otherwise.
- 18. All pipe lengths are horizontal distances and are approximate.
- 19. Do not scale drawings for actual dimensions as it is a reproduction and subject to
- 20. Final limits of demolition to be determined based on field stakeout of proposed grading, utility and site improvement.
- 21. All construction and improvements shall be in accordance with all local city and/or county standards and specifications and utility companies having jurisdiction.
- 22. Prior or start up of construction contractor shall verify that all required permits and approvals have been obtained from all regulatory authorities.
- 23. Contractor shall maintain the site in a manner so that workmen and the public are protected from injury and so that OSHA regulations are being followed.
- 24. Contractor shall insure positive drainage along proposed curb and gutter.
- 25. Contractor shall blend new earthwork smoothly with the existing grades.
- 26. Approval of this plan is not authorization to grade adjacent properties. When field conditions warrant off—site grading, permission must be obtained from the affected property owners.
- 27. The proposed contours shown in drives, parking lots, and sidewalks are finished elevations including asphalt, or concrete. Refer to pavement cross—section data and /or paving details to establish correct sub-grade or aggregate base course elevations.
- 28. All fill shall be compacted to 95% AASHTO standard compaction unless otherwise noted on the plans or ALDOT Std. Specifications (LATEST EDITION).
- 29. All construction debris and other waste material shall be disposed of off-site by the contractor in accordance with applicable regulatory agency requirements.
- 30. Contractor shall restore all disturbed areas to existing conditions or better.
- 31. All roadway and drainage construction materials shall be in accordance with the specifications and requirements of the City of Adamsville. If not otherwise specified, all materials and construction shall be in accordance with Aldot Special and Standard Highway Drawings (current edition).
- 32. All storm drain pipe joints shall have rubber type gasket joints that meet the requirements of ALDOT standard specifications Section 846.01 (d). (LATEST EDITION)
- 33. Concrete pipe shall be a minimum of Class III RCP.
- 34. All Erosion Control is schematic and shall be modified as required for various phases of work. Contractor shall maintain and replace BMP's as required during construction.
- 35. Omit

36. Omit

- 37. All pipes shall be flush with inside of structure unless otherwise shown on plans. Grouting of pipe inside and out shall have a rounded and smooth bead.
- 38. Backfilling of trenches shall be accomplished immediately after pipe is laid. The fill around the pipe shall be placed in layers not to exceed 8 inches. Each layer shall be thoroughly compacted to 95% of the maximum density obtainable with the standard proctor test (a density of 100% is required for the top twelve inches). Inverts shall be a smooth finish and have no sharp or jagged edges. Wire shown from saw cut pipe shall be removed and grouted in.
- 39. Under no circumstances shall water be permitted to rise in unbackfilled trenches after pipe has been placed. (use approved de—watering method).
- 40. Material deemed unsuitable for backfill purposes shall be removed and replaced with select backfill material as approved by engineer.
- 41. The storm drainage system will be subject to a visual inspection by the engineer prior to backfill.
- 42. Erosion Control Blankets shall be placed on slopes as required by engineer.
- construction conditions.
- 44. Contractor shall remove from site and legally dispose of all debris and excavated material not required or suitable for fill.

45. Omit

- 46. Street drainage and traffic movement shall be maintained at all times with local traffic except as approved by engineer.
- 47. All necessary traffic control devices shall conform to the Manual on Uniform Traffic Control Devices (MUTCD), CURRENT EDITION.

1. Fill material for roadway embankments shall be free from stones, construction material debris, frozen material, organic matter or other unstable material as per ALDOT Standard Specifications. Fill material placed in roadway embankments shall be placed in uncompacted lifts of eight (8) inches or less and compacted at a density of not less than 98% of maximum dry density as measured by AASHTO method T-99. The compaction requirement shall be increased to 100% in the uppermost 12 inches of subgrade. These compaction requirements shall apply for that portion of the roadway measured from 5 feet from the back of curb and extending on a slope of 1 to 1 to the no cut/no fill line. Outside these limits soil may be compacted to a density of not less than 90% of Maximum dry density as measured by AASHTO T-99. In cut sections, the uppermost 12 inches of subarade shall be scarified and recompacted to no less than 100% percent of maximum dry density as measured by AASHTO method T-99.

- 1. Except as noted below, protect and maintain all bench marks, monuments and reference points and property corners. Replace if disturbed or destroyed. If found at variance with the drawings, notify the Engineer before proceeding with layout work.
- 2. Contractor shall provide for surface water control, clearing an grubbing, stripping of topsoil and stockpiling of topsoil.
- 3. All trees, brush, stumps and roots shall be removed from the site unless specific trees are noted to remain.
- 4. Areas to be stripped shall first be scraped clean of all brush, weeds, grass, roots, wood, alass, stones, broken concrete, brick and concrete block. Topsoil shall be free from subsoil, debris, and stones larger the 2 inches in diameter.
- 5. Remove all the highly organic topsoil and root zones remaining after clearing from building pad, pavement areas and from all other cut areas.
- 6. Stockpile topsoil in on-site locations where it will not interfere with site construction. Materials stockpiled shall be placed in a manner to afford drainage. Stock piled material shall be grassed or otherwise prevented/protected from eroding onto or off the site.
- 7. At completion of grading operations topsoil depth shall be a minimum of 6 inches at all landscape areas including: ditches, drainage swales, and detention areas. Contractor shall stockpile sufficient top soil to provide the specified minimum depth.
- 8. All topsoil, paving, vegetation, and deleterious materials shall be removed from the area of proposed construction.

- 1. PERMANENT SODDING MUST BE INSTALLED ON ALL DISTURBED AREAS AFTER GRADING OPERATIONS ARE COMPLETED.
- 2. THE MAINTENANCE OR INSTALLATION OF ANY EROSION CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO AND CONCURRENT WITH ANY LAND DISTURBING ACTIVITIES.
- 3. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.
- 4. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- 5. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 13 DAYS SHALL BE STABILIZED WITH MULCH AND OR TEMPORARY SEEDING.

- 1. The extent of earthwork is shown on drawings and generally includes but is not limited to the following:
- A. Preparation of Subgrade for the building, parking and drive areas, finish grading of landscape areas and the placement of topsoil.
- B. Perform excavation work in compliance with applicable requirements of governing authorities having jurisdiction.
- C. Soil tests, field density tests and observation and report of pre-densification shall be made by a materials testing laboratory approved by the owner and paid for by the Contractor.

Excavation:

- 1. At completion of clearing, grubbing and stripping of topsoil, stump holes or other depressions shall be cleared of loose material and debris and shall then be backfilled with approved fill. The backfill shall be placed in eight inch thick loose lifts and compacted to 95% density in accordance with ALDOT Standard Specifications.
- 2. The entire stripped subgrade and all fill areas shall be compacted and proof rolled as recommended by the geotechnical engineer. The compaction effort shall be sufficient to density the subgrade to a minimum density of 100% for a depth of 12 inches for building, paving subgrade areas, and for landscape areas. All areas that are unstable under the compaction equipment shall be undercut to form soil and replaced with clean sand fill compacted as specified in eight inch loose lifts. Pre-densification and proof rolling shall be observed by the Architect and experienced geotechnical engineer. Proof rolling shall be accomplished with a loaded dump truck or other approved rubber tired equipment. Overlapping passes of the vehicle shall be made across the site in one direction and then at right angles to the original

- 1. Control soil compaction during construction providing the minimum percentage of density specified for each area classification.
- 2. Percentage of Maximum Density Requirements: Compact soil to not less than the following percentages of maximum dry density for soils which exhibit a well-defined moisture density relationship determined in accordance with ASTM standards; and not less than the following percentages of relative density, determined in accordance with ASTM D 2049, for soils which will not exhibit a well-defined moisture-density relationship.

Backfill and Fill:

- 1. Structural fill (All areas under building and paving to 5'-0" outside the area on each
- 2. Structural fill material should be free of organics, deleterious matter, debris, and rocks greater than 6 inches. Fill soil shall have a plasticity index less than 30, a liquid limit less than 50, and a maximum dry density (Standard Proctor ASTM D 698) of at least 90 pcf. Fill should be placed thin lifts, less than 8 inches loose measure, and compacted to at least 95% of the Standard Proctor maximum dry density. Where the at-grade soils are to be used for pavement support, they should be scarified 6 inches deep, moisture conditioned and compacted to at least 98% of the Standard Proctor Maximum dry density. Backfill for perimeter foundations shall be compacted to at least 100% of the Standard Proctor maximum dry density.
- 3. Ground Surface Preparation: Remove vegetation, debris, unsatisfactory soil materials, obstructions and deleterious materials from ground surface prior to placement o fills. Plow, strip or break-up sloped surfaces steeper than 1 vertical to 4 horizontal so that fill material will bond with existing surface.
- 4. When existing ground surface has a density less than that specified under "Compaction" for particular area classifications, break up ground surface, pulverize, moisture—condition to optimum moisture content, and compact to required depth and percentage of maximum density.
- Placement and Compaction: Place backfill and materials in layers not more than 8" in loose depth for material compacted by heavy compaction equipment, and not more than 4" in loose depth for material compacted by hand operated tampers.
- 6. Before compaction, moisten or aerate each layer as necessary to provide optimum moisture content. Compact each layer to required percentage of maximum dry density or relative dry density for each area classification. Do not place backfill or fill material on surfaces that are muddy, frozen, or contain frost or ice.

- General: Uniformly grade areas within limits of grading under this section, including adiacent transition areas. Smooth finished surface within specified tolerances, compact with uniform levels or slopes between points where elevations are shown, or between such points and existing grades. Grade areas adjacent to pavement to slope as indicated on the drawings and to prevent ponding of water in paved areas. Backfill against curbs and pavement edges flush to provide a smooth finish in areas to be grassed.
- 2. Grading Outside Building Lines: Grade areas adjacent to building lines to drain away from structures and to prevent ponding.
- 3. Finish surfaces free from irregular surface changes, and as follows:
- 4. Lawn Areas: Finish areas to receive 6" of topsoil to within not more than 0.10" above or below required elevations. Areas shall be free of stones, pebbles and etc. $\frac{3}{4}$ " and larger. Finish grading of lawns, athletic and other areas to be grassed shall be fine graded using hand rakes and small rubber—tired tractors with box blades or other suitable equipment. Fine graded areas shall be pulverized with a Gill Pulverizer or equal equipment.
- 5. Pavements: Shape surface of areas under pavement to line, grade and cross—setion, with finish surface not more than $\frac{1}{2}$ " above or below required subgrade elevation.
- 6. Grading Surface of Fill Under Building Slabs: Grade smooth and even, free of voids, compacted as specified, and to required elevation. Provide final grades within a tolerance of $\frac{1}{2}$ " when tested with a 10' straightedge. Extend fill beyond perimeter of footing a minimum of 5 feet.
- 7. Compaction: After grading, compact subgrade surfaces to the depth and percentage of maximum density for each area classification.

- 1. Protection of Graded Areas: Protect newly graded areas from traffic and erosion. Keep free of trash and debris.
- 2. Repair and re-establish grades in settled, eroded, and rutted areas to specified tolerances.
- 3. Reconditioning Compacted Areas: Where completed compacted areas are disturbed by subsequent construction operations or adverse weather, scarify surface, reshape, and compact to required density prior to further construction.

PLAN LEGEND

LEGEND: 697 - Proposed Contours — 669 — Existing Contours — τ — TELEPHONE LINE — ss — - SANITARY SEWER WATER LINE —— GAS LINE ==== - STORM PIPE — P — P — P OWFR LINF **♣** F.H. — FIRE HYDRANT → P.P./LP - POWER POLE WATER METER ⊞ G.V. - GAS VALVE

ABBREVIATIONS

ADEM ALDOT APPROX ASSY		N NIC NO. # NOM NTS	NORTH NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE
AVE AWWA	AVENUE AMERICAN WATER WORKS ASSOCIATION	OC OD OF OT	ON CENTER OUTSIDE DIAMETER OUTSIDE FACE OPEN THROAT INLET
BC BFV BLDG BLK BM	BACK OF CURB BUTTERFLY VALVE BUILDING BLOCK BENCH MARK	PEJ ± PI PO	PIPE EXPANSION JOINT PLUS OR MINUS POINT OF INTERSECTION PUSH ON
CI CL CONC CONN CONST CMF CU YD CU FT	CONCRETE MONUMENT FOUND CUBIC YARD	PP PRESS PRV PSI PV PVC PVC: PVT:	POWER POLE PRESSURE PRESSURE RELIEF VALVE POUND PER SQUARE INCH PLUG VALVE POLYVINYL CHLORIDE POINT OF VERTICAL CURVE PINT OF VERTICAL TANGENT
CV DIA DI DIP DW	CHECK VALVE DIAMETER DUCTILE IRON DUCTILE IRON PIPE DOUBLE WING	RAD RC RCP RE REINF REQ'D	RADIUS REINFORCED CONCRETE REINFORCED CONCRETE PIPE REDUCER REINFORCING REQUIRED
E EA EL ELEV EW EX EXIST	EAST EACH ELEVATION ELEVATION EACH EAY EXISTING EXISTING	ROW R/W RT S SCH SECT SHT	RIGHT OF WAY RIGHT SOUTH SCHEDULE SECTION
FCA FES FH FL FLG FM FT	FLANGE COUPLING ADAPTER FLARED END SECTION FIRE HYDRANT FLOW LINE FLANGED FORCE MAIN FOOT	SL SPE SPECS SS SSMH ST STA STD	SEWER LATERAL SLOPED PAVED END TREATEMENT SPECIFICATIONS SANITARY SEWER SANITARY SEWER MANHOLE STREET STATION STANDARD
GALV GL GPM GR GV	GALVANIZED GAS LINE GALLONS PER MINUTE GRADE GATE VALVE	SW TBM THK TOC TYP	TEMPORARY BENCH MARK THICKNESS
HGT HORIZ HW HWY	HEIGHT HORIZONTAL HEADWALL HIGHWAY	V VERT W	VALVE VERTICAL WEST
ID INV IPF	INSIDE DIAMETER INVERT IRON PIN FOUND	W W/O WL WM	WITH WITHOUT WATER LINE WATER METER
JB JT	JUNCTION BOX JOINT	WS WWF	WATER STOP WELDED WIRE FABRIC
LIN LG LF	LINEAR LONG LINEAR FEET		

MAXIMUM

PER DAY

MANHOLE

MINIMUM

MILLIONS GALLONS

MISCELLANEOUS

MECHANICAL JOINT

MAX

MGD

MIN

MISC

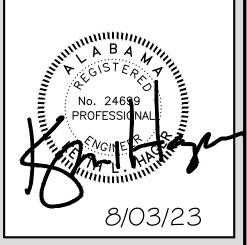
View

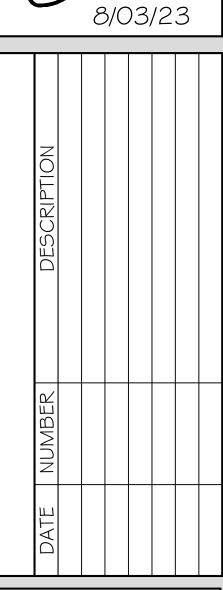
A PROJECT FOR:

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uilding ake മ S of €W City

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DETAILS

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Location: Lake View, Alabama

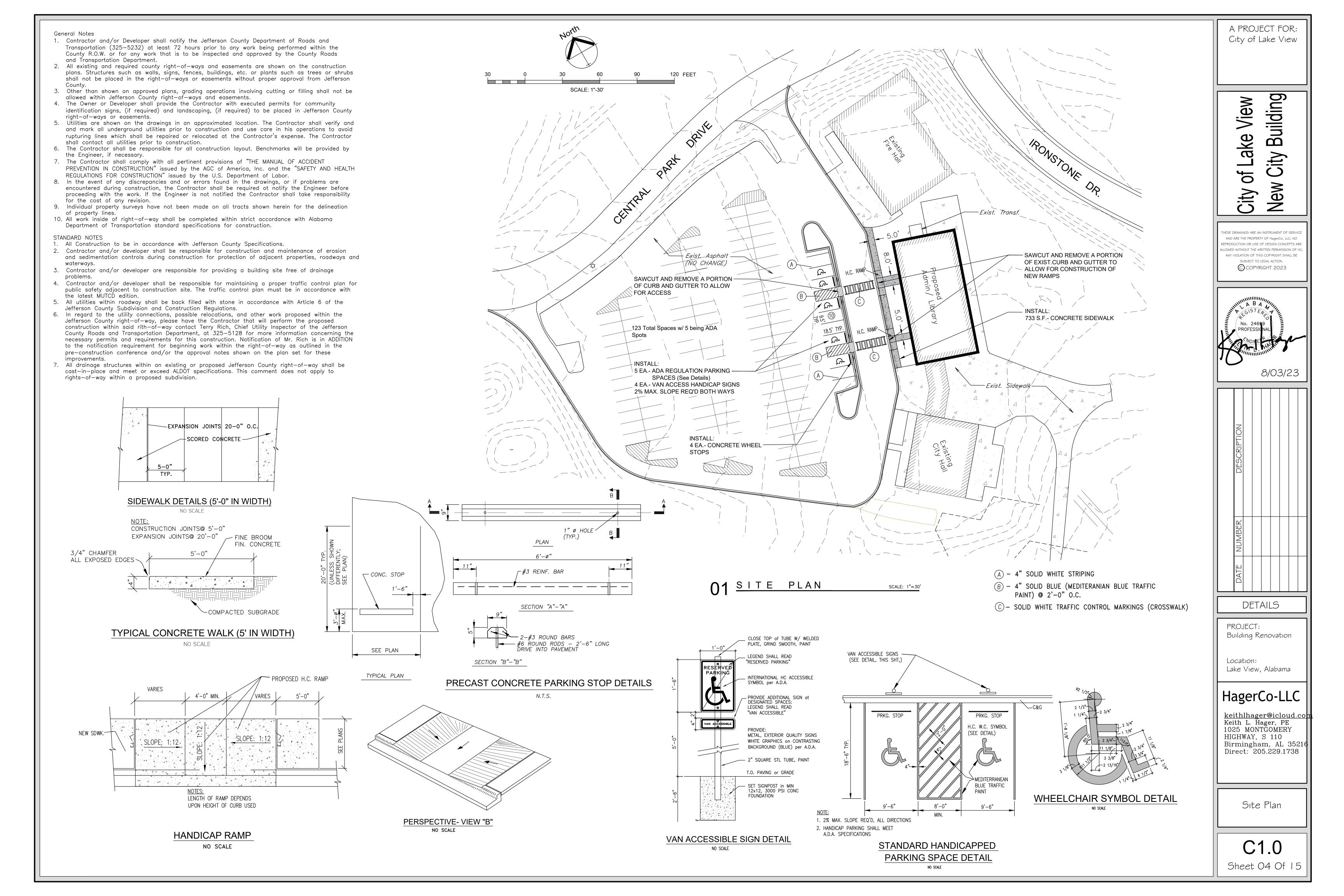
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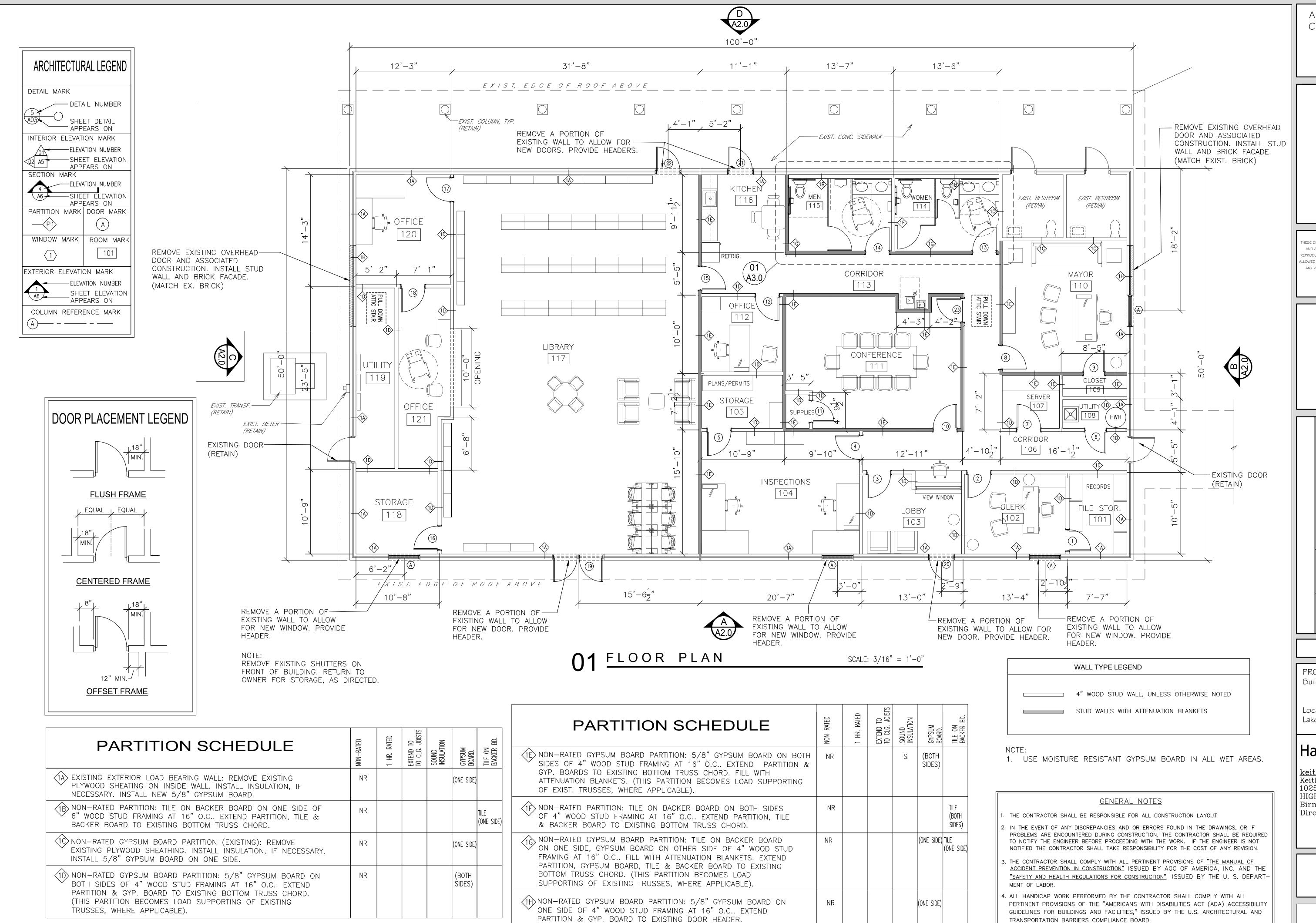
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Site Specifications

C0.0

Sheet 03 Of 15





> City of Lake View New City Building

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DATE NUMBER DESCRIPTION
STATE

DETAILS

PROJECT:

PROJECT:
Building Renovation

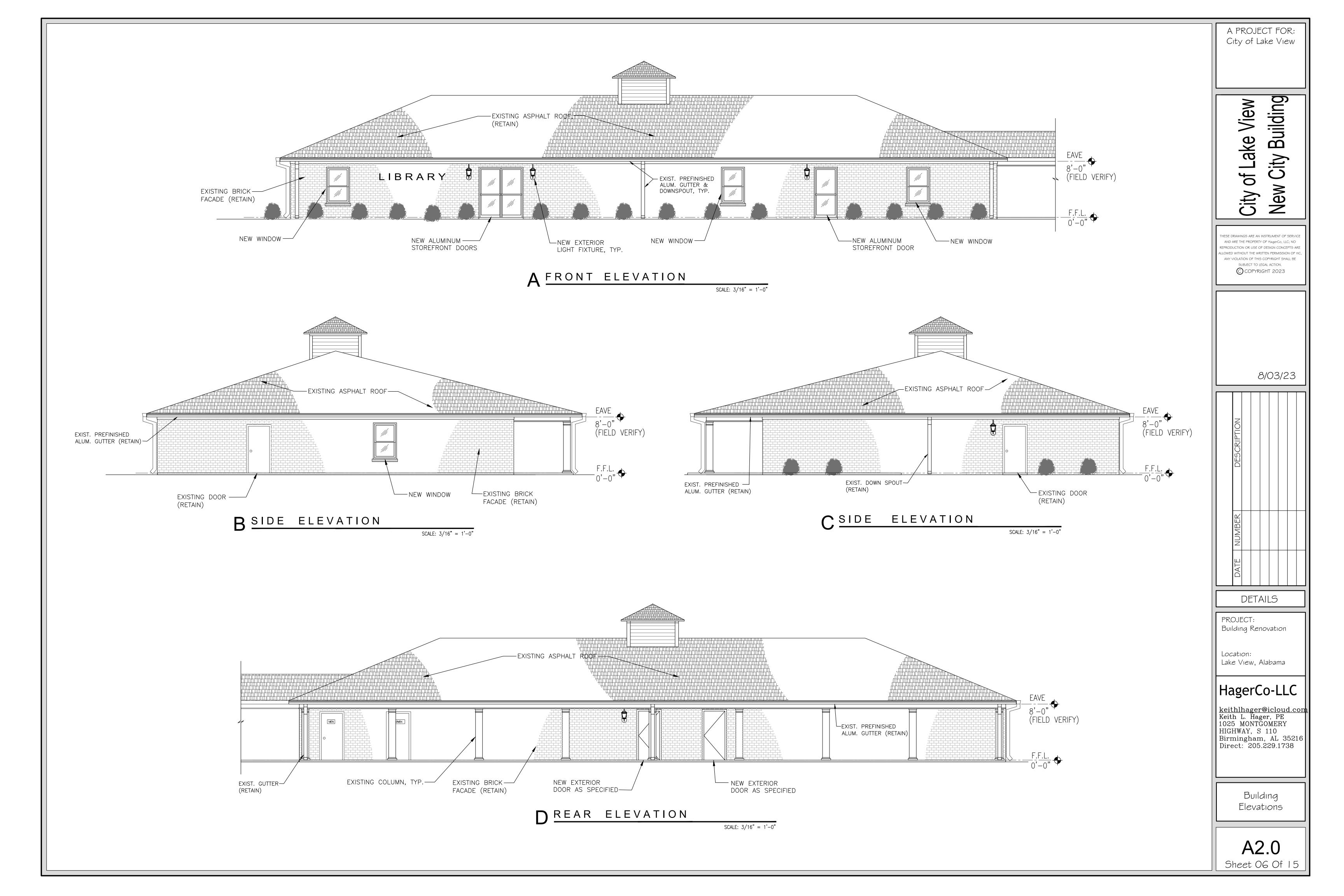
Location: Lake View , Alabama

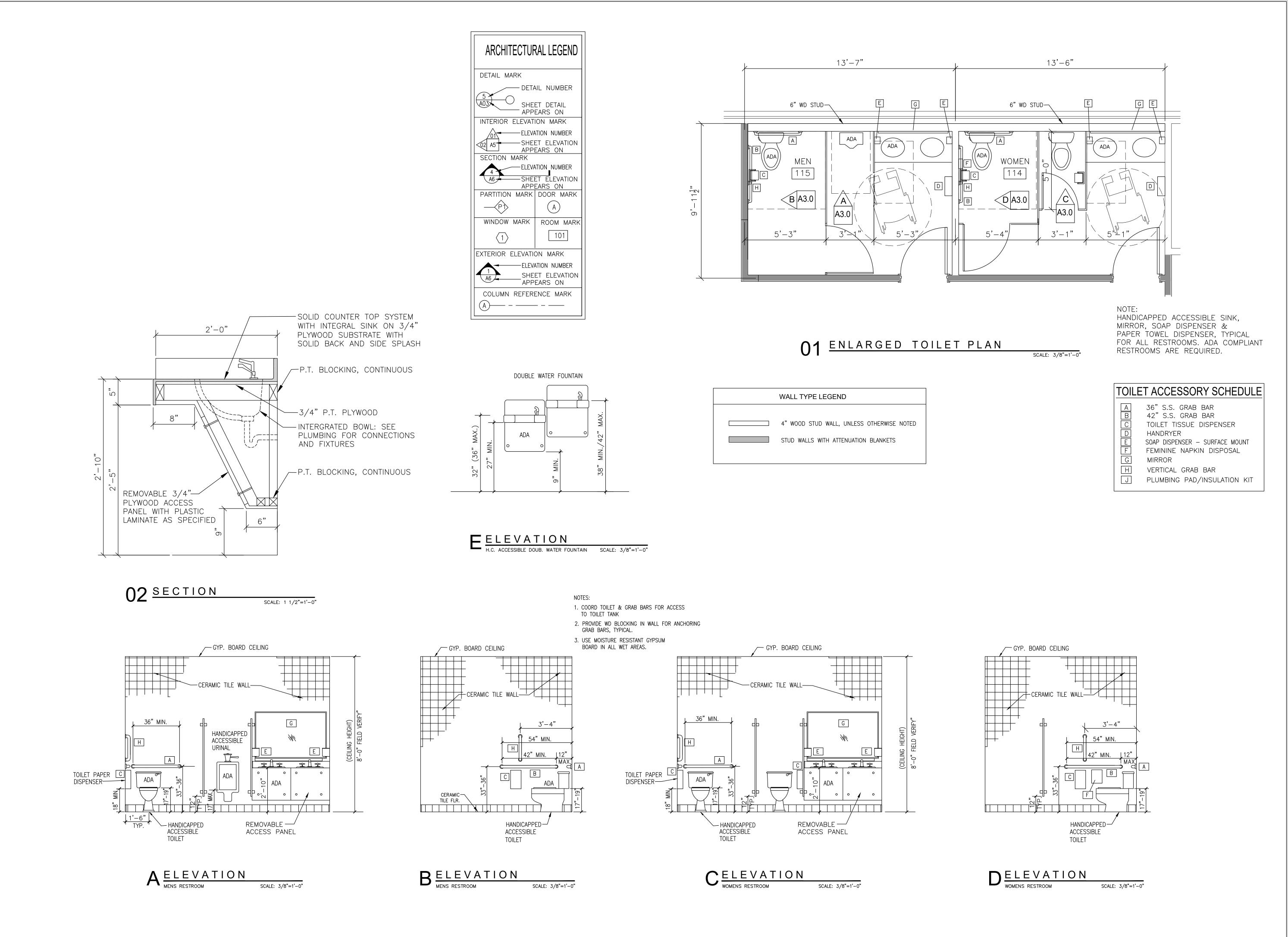
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Floor Plan

A1.0Sheet 05 Of 16





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DATE NUMBER DESCRIPTION

DETAILS

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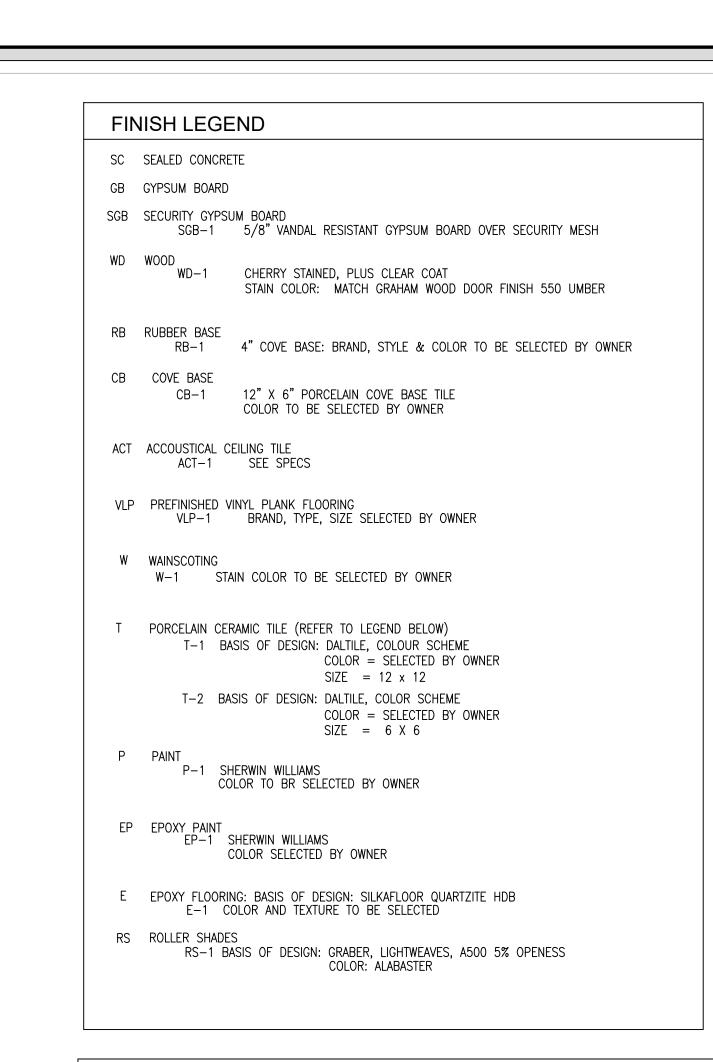
Location: Lake View, Alabama

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Enlarged Toilets & Elevations

A3.0Sheet 07 Of 16



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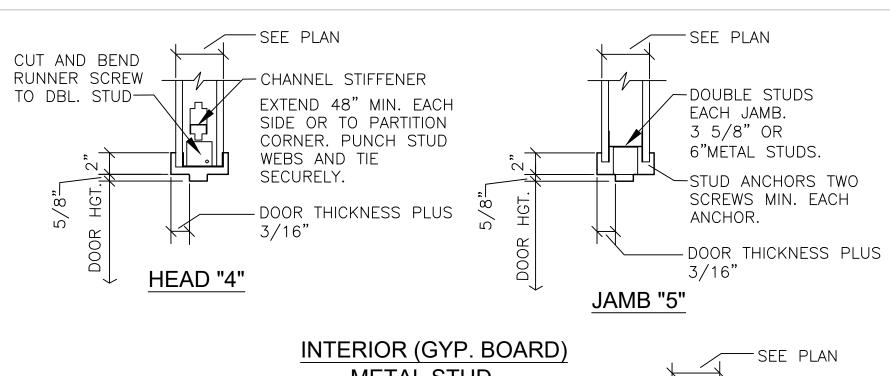
FINISH NOTES:

- 1. Apply paint on surfaces prepared per manufacturer's specifications. Provide 2 finish coats over 1 coat of
- primer, typical.
 2. Provide moisture/water resistant gypsum board at any location where gypsum board is the backup material for ceramic tile finished material.
- 3. Provide thresholds & transition strips suitable for the application where floor materials change. Comply with the A.D.A.'s requirements for thresholds.
- Rubber base shall be roll goods only. Install on each wall in as few sections as possible. Provide pre—moulded trim pieces at all corners (inside and outside corners, no bending of base accepted).

						FINIS	H SCH	EDULE			
ROOM	ROOM NAME	FLOOR	BASE		WALL				CEILING	WINDOW	REMARKS
NO.	ROOM NAME	PLOOK	DASE	NORTH	EAST	SOUTH	WEST	TRIM	CLILING	TREATMENT	KLIMAKKO
101	FILE STORAGE	VLP-1	RB-1	P-1	P-1	P-1	P-1	P-1	GB		
102	CLERK	VLP-1	RB-1	P-1	P-1	P-1	P-1	P-1	GB		
103	LOBBY	VLP-1	RB-1	P-1	P-1	P-1	P-1	P-1	GB		
104	INSPECTIONS	VLP-1	RB-1	P-1	P-1	P-1	P-1	P-1	GB		
105	STORAGE	VLP-1	RB-1	P-1	P-1	P-1	P-1	P-1	GB		
106	CORRIDOR	VLP-1	RB-1	P-1	P-1	P-1	P-1	P-1	GB		
107	SERVER	VLP-1	RB-1	P-1	P-1	P-1	P-1	P-1	GB		
108	UTILITY	VLP-1	RB-1	P-1	P-1	P-1	P-1	P-1	GB		MOISTURE RESISTANT GYP. BOARD REQUIRED
109	CLOSET	VLP-1	RB-1	P-1	P-1	P-1	P-1	P-1	GB		
110	MAYOR	VLP-1	RB-1	P-1	P-1	P-1	P-1	P-1	GB		
111	CONFERENCE	VLP-1	RB-1	P-1	P-1	P-1	P-1	P-1	GB		
112	OFFICE	VLP-1	RB-1	P-1	P-1	P-1	P-1	P-1	GB		
113	CORRIDOR	VLP-1	RB-1	P-1	P-1	P-1	P-1	P-1	GB		
114	WOMEN	T-1	CB-1	T-2	T-2	T-2	T-2	P-1	GB		MOISTURE RESISTANT GYP. BOARD REQUIRED
115	MEN	T-1	CB-1	T-2	T-2	T-2	T-2	P-1	GB		MOISTURE RESISTANT GYP. BOARD REQUIRED
116	KITCHEN	VLP-1	RB-1	P-1	P-1		P-1	P-1	GB		
117	LIBRARY	VLP-1	RB-1	P-1	P-1	P-1	P-1	P-1	GB		
118	STORAGE	VLP-1	RB-1	P-1	P-1	P-1	P-1	P-1	GB		
119	UTILITY	SC		P-1	P-1	P-1	P-1	P-1	GB		MOISTURE RESISTANT GYP. BOARD REQUIRED
120	OFFICE	VLP-1	RB-1	P-1	P-1	P-1	P-1	P-1	GB		
121	OFFICE	VLP-1	RB-1	P-1	P-1	P-1	P-1	P-1	GB		

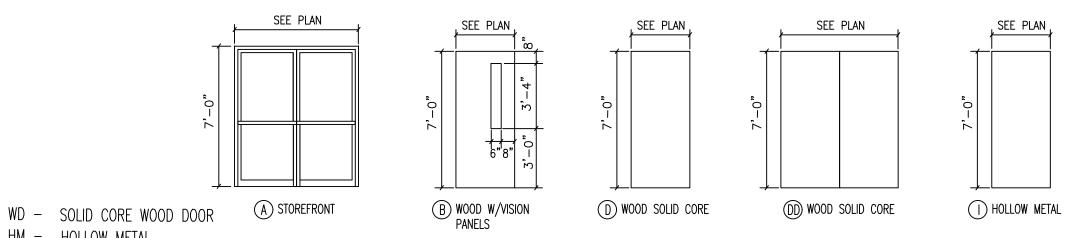
	3'-4"	l
2",	,	2"
		πÏ
5,-2"	//	
5,-	///	
5,-		

WINDOW SCHEDULE





TYPICAL HOLLOW METAL FRAME DETAILS



HM - HOLLOW METAL

SHM - SECURITY HOLLOW METAL

PT - PAINT

ST STAIN & CLEAR COAT.

7'-4"

ST - STAIN & CLEAR COAT

LAM - LAMINATE

AL - ALUMINUM STOREFRONT

A HOLLOW METAL

A HOLLOW METAL

C HOLLOW METAL

D HOLLOW METAL

E HOLLOW METAL

J HOLLOW METAL

TYP. H.M. FRAME ELEVATIONS

	•						[DOOR	SCHE	EDULE					
			DOC)R				F	RAME				REMARKS		
NUMBER	<u>\</u>	MATERIAL	S	SIZE			MATERIAL	FINISH		DETAIL	-	HARDWARE	RATING	GLAZING	
\supseteq	ELEV.	MAT	WIDTH	HEIGHT	FINISH	ELEV.	MAT	N H	HD	JB	TH	HAR	RAT	GLA	
1	D	WD	2'-8"	6'-8"	ST	С	НМ	PT	_	_	_		NR		
2	D	WD	3'-0"	6'-8"	ST	С	НМ	PT	_	_	_		NR		
3	D	WD	3'-0"	6'-8"	ST	С	НМ	PT	_	_	_		NR		
4	D	WD	3'-0"	6'-8"	ST	С	НМ	PT	_	_	_		NR		
5	D	WD	3'-0"	6'-8"	ST	С	НМ	PT	_	_	_		NR		
6	D	WD	2'-8"	6'-8"	ST	С	НМ	PT	_	_	_		NR		
7	D	WD	3'-0"	6'-8"	ST	С	НМ	PT		_	_		NR		
8	D	WD	3'-0"	6'-8"	ST	С	НМ	PT		_	_		NR		
9	D	WD	2'-8"	6'-8"	ST	С	НМ	PT		_	_		NR		
10	D	WD	3'-0"	6'-8"	ST	С	НМ	PT	_	_	_		NR		
11	D	WD	2'-8"	6'-8"	ST	С	НМ	PT	_	_	_		NR		
12	D	WD	3'-0"	6'-8"	ST	С	НМ	PT	_	_	_		NR		
13	D	WD	3'-0"	6'-8"	ST	С	НМ	PT	_	_	_		NR		
14	D	WD	3'-0"	6'-8"	ST	С	НМ	PT		_	_		NR		
15	D	WD	3'-0"	6'-8"	ST	С	НМ	PT					NR		
16	D	WD	3'-0"	6'-8"	ST	С	НМ	PT	1	_	_		NR		
17	D	WD	3'-0"	6'-8"	ST	С	НМ	PT		_	_		NR		
18	D	WD	3'-0"	6'-8"	ST	С	НМ	PT		_	_		NR		
19	Α	AL	2(3'-0")	6'-8"	_	_	AL	_		_	_		_		
20	Α	AL	3'-0"	6'-8"	_	_	AL		l	_	_				
21	D	WD	3'-0"	6'-8"	PT	С	НМ	PT		_	_		NR		MATCH EXIST. WOOD DOORS IN STYLE & COLOR
22	D	WD	3'-0"	6'-8"	PT	С	НМ	PT		_	_		NR		MATCH EXIST. WOOD DOORS IN STYLE & COLOR
23	D	WD	3'-0"	6'-8"	ST	С	НМ	PT	_		_		NR		

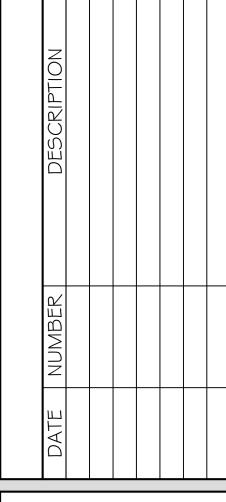
A PROJECT FOR: City of Lake View

> City of Lake View New City Building

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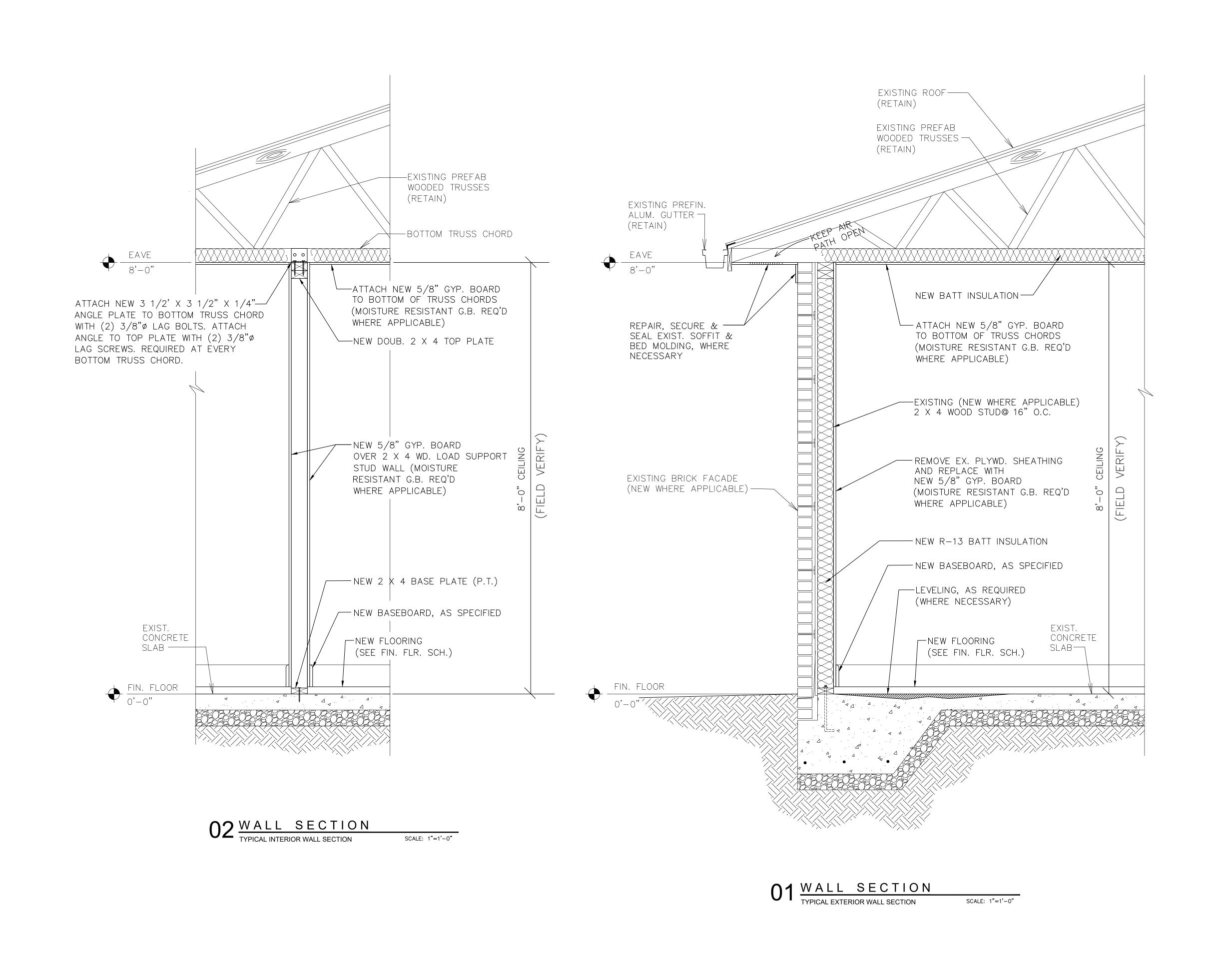
Location: Lake View, Alabama

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Schedules

A4.0Sheet 08 Of 15

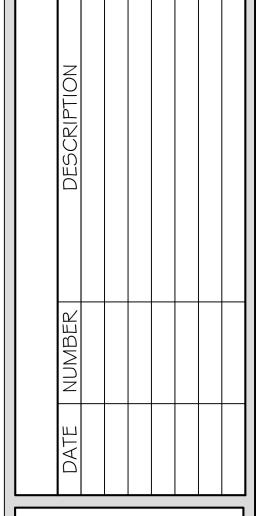


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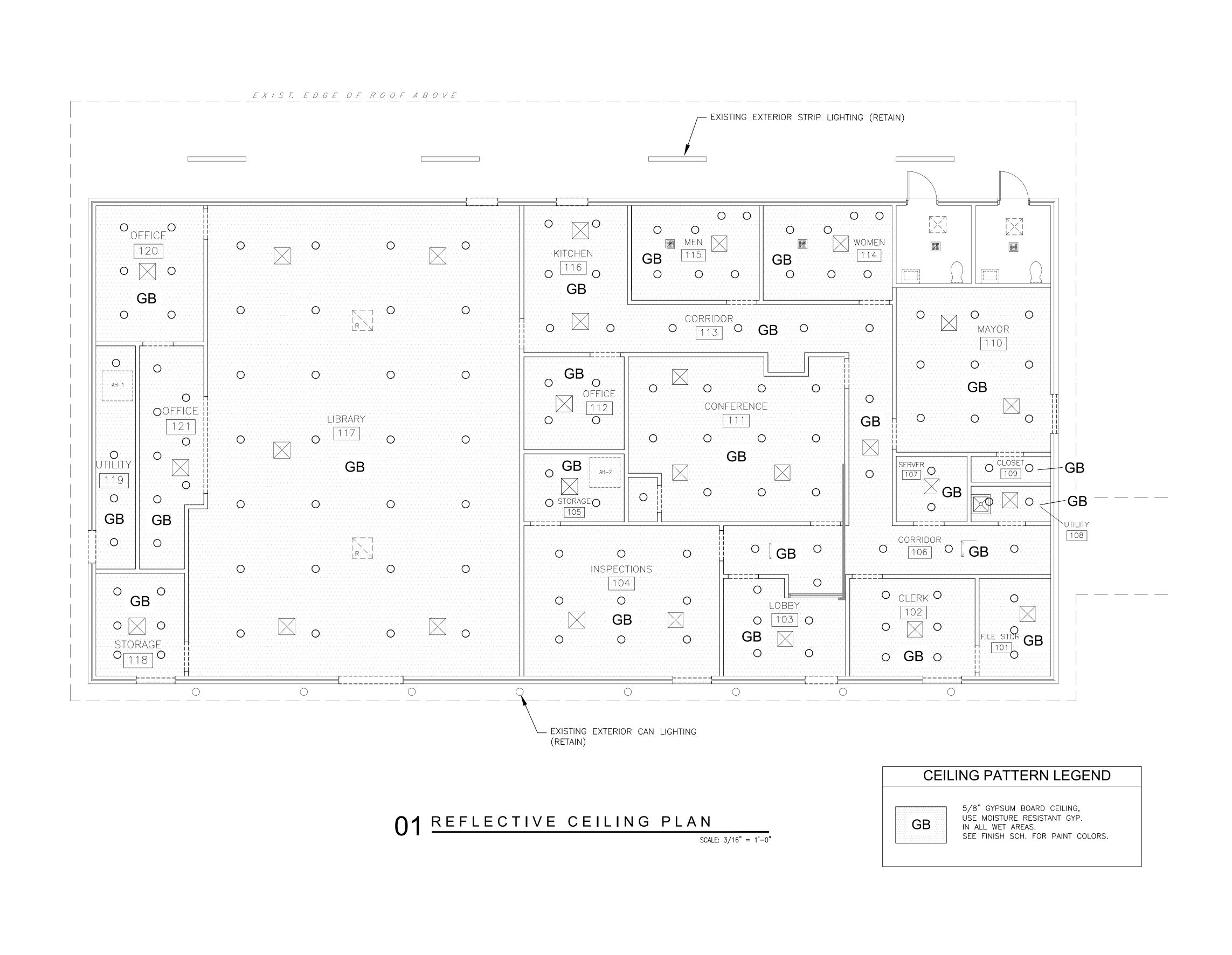
Location: Lake View, Alabama

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Wall Sections

A5.0Sheet 09 Of 15

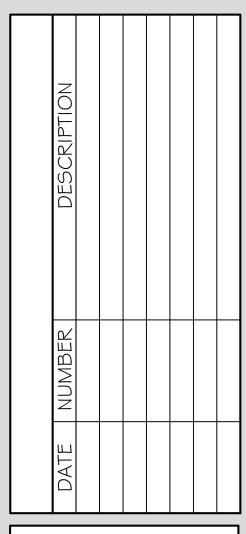


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Location: Lake View, Alabama

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Reflective Ceiling

A6.0Sheet 10 Of 15

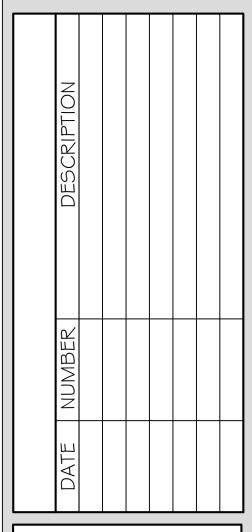


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DETAILS

PROJECT:
Building Renovation

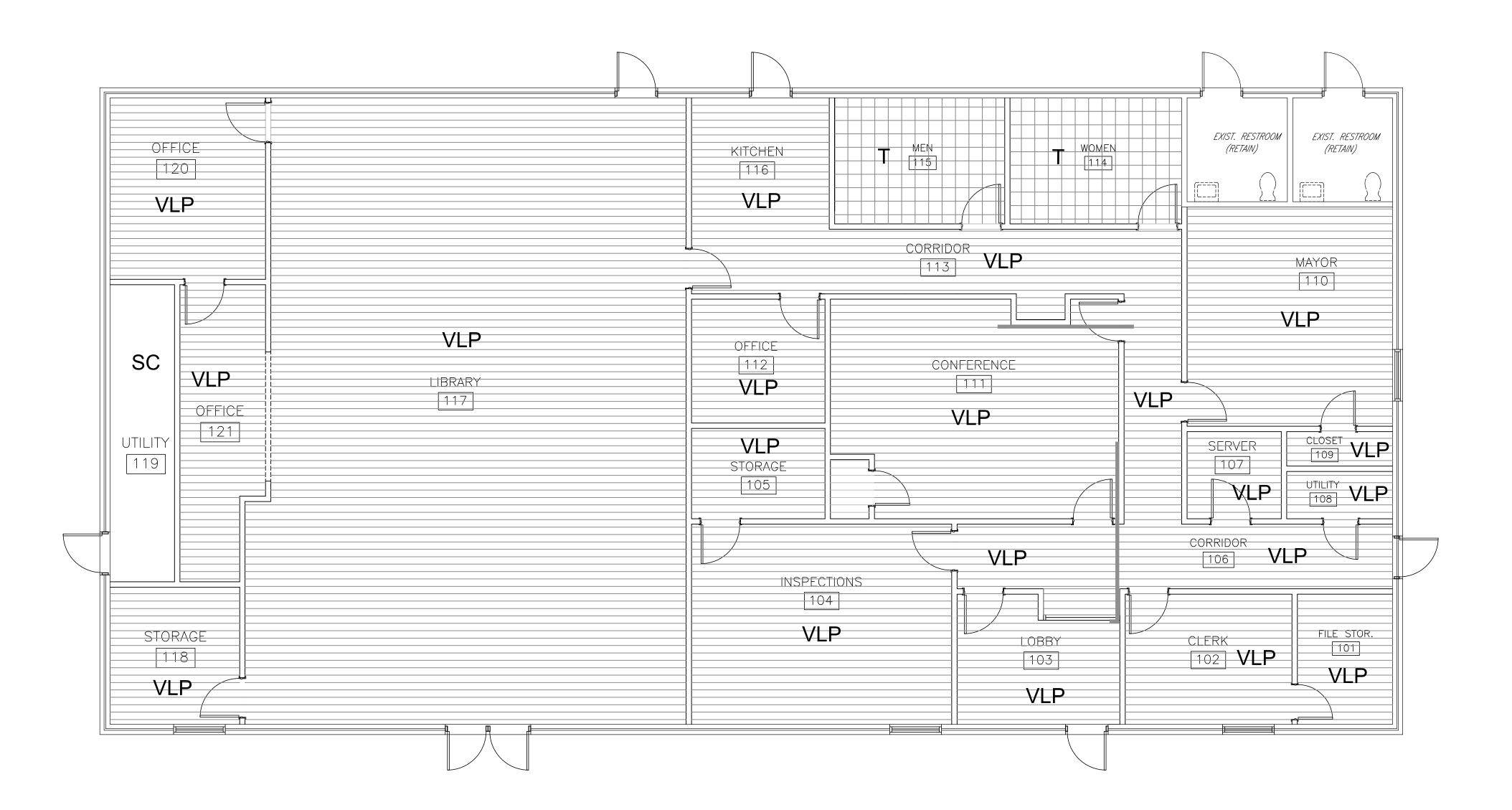
Location: Lake View, Alabama

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Finish Floor

A7.0Sheet | | Of | | 5

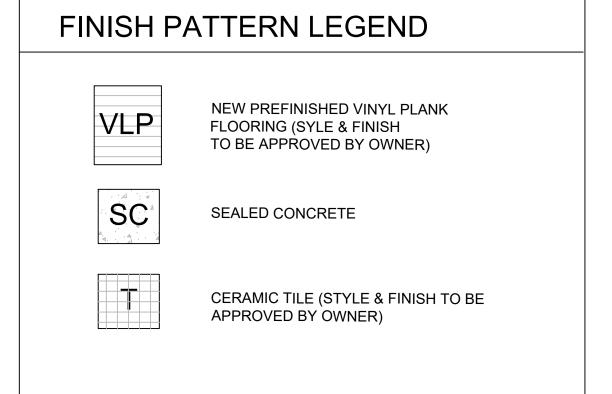


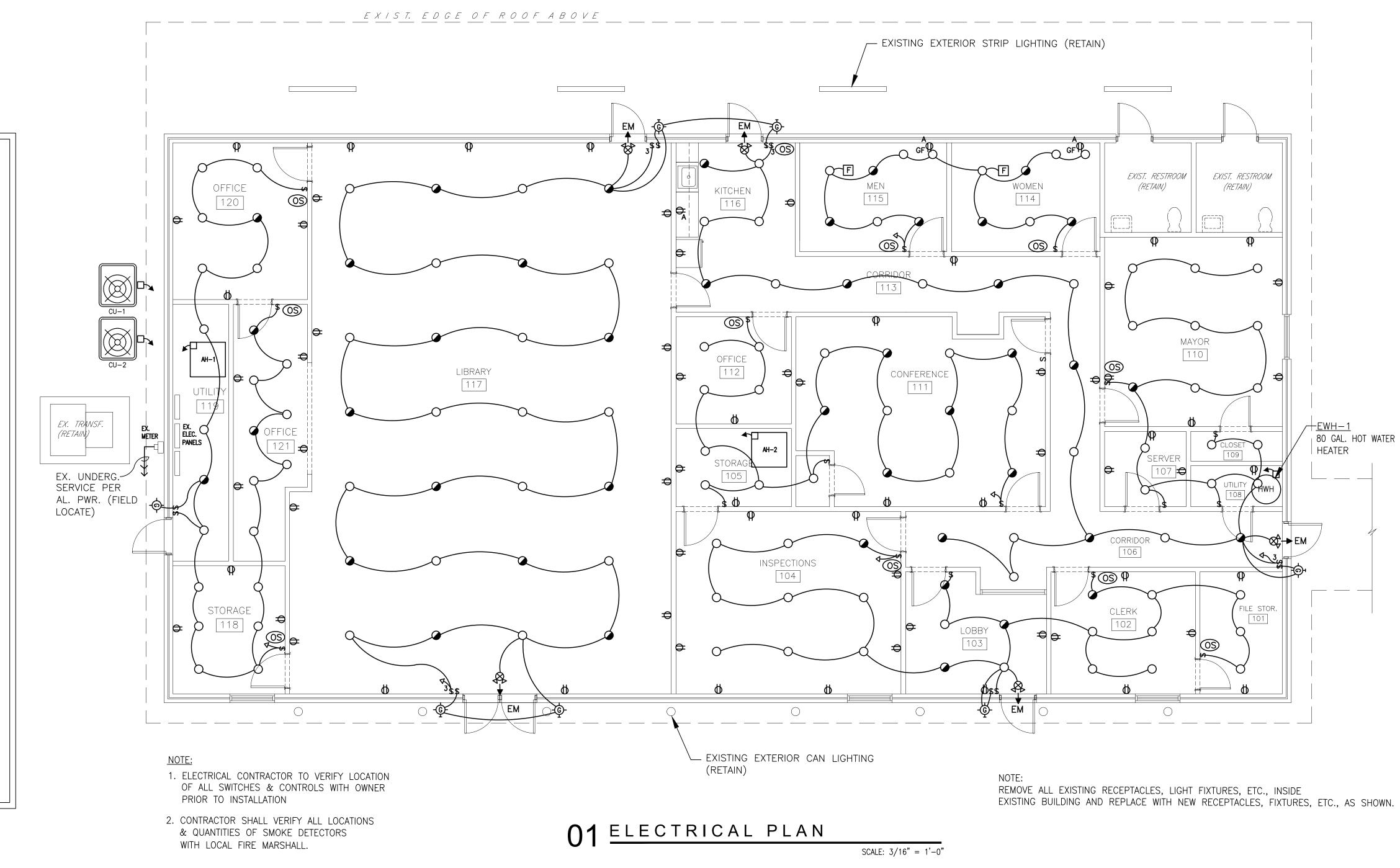
NOTE:

1. LEVELING REQUIRED TO EXISTING CONCRETE FLOOR WHERE NECESSARY.

01 FINISH FLOOR PLAN

SCALE: 3/16" = 1'-0"





<u>GENERAL NOTES</u>

ELECTRICAL LEGEND

RECESSED LED INCANDESCENT CAN LIGHT, LIFE SAFETY EMERGENCY EGRESS LIGHTING

⇒ 125V DUPLEX RECEPTACLE, MOUNTED 12" AFF UON (STAINLESS STEEL COVER)

125V DUPLEX RECEPTACLE, BOTTOM OF OUTLET BOX MOUNTED 2" ABOVE TOP OF BACKSPLASH OR IF NO BACKSPLASH, 4" ABOVE COUNTERTOP.

125V DUPLEX RECEPTACLE, GROUND FAULT INTERRUPTER, MOUNTED 12" AFF,

BRANCH CIRCUIT, CONCEALED OVERHEAD OR IN WALLS IN 3/4" ELEC. METALLIC TUBING

FLOOR OUTLET- DOUBLE DUPLEX, 15A, 125V, 3 WIRE, NEMA 5-15R

EXHAUST FAN, 10" DAYTON MODEL 5C054 (330CFM) OR APPROVED EQUAL.

LED EXTERIOR LIGHT FIXTURE & WALL BRACKET, SURFACE MOUNTED

O RECESSED LED INCANDESCENT CAN LIGHT

EXIT/EMERGENCY COMBINATION

INCANDESCENT (KEYLESS)

REMOTE EMERGENCY HEAD

UNLESS NOTED OTHERWISE.

S SINGLE POLE SWITCH, MOUNTED 48" AFF UON

S₃ THREE WAY SWITCH, MOUNTED 48" AFF UON

S4 FOUR WAY SWITCH, MOUNTED 48" AFF UON

WP INDICATES WEATHER PROOF

SAFETY SWITCH, FUSED

SAFETY SWITCH, NON-FUSED

OCCUPANCY SENSOR

QUADUAPLEX RECEPTACLE

A.F.F. ABOVE FINISH FLOOR

FLOOR OUTLET— TELEPHONE/DATA

THERMOSTAT WITH LOW VOLTAGE CONTROL WIRING

JUNCTION BOX OR OUTLET BOX WITH BLANK COVER PLATE

SMOKE DETECTOR, DICON SYSTEMS, MODEL 570LR, 120V WITH BATTERY BACKUP (9V).

EXIT

EMERGENCY, 2 HD BATTERY PACK

- 1. ALL ELECTRICAL WORK TO BE DONE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND LOCAL ORDINANCES. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS.
- 2. CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF WITH ALL DETAILS OF THE WORK AND ALL EXISTING FIELD CONDITIONS.
- 3. THE ELECTRICAL CONTRACTOR SHALL CAREFULLY COORDINATE HIS WORK WITH OTHER CONTRACTORS THROUGH THE GENERAL CONTRACTOR FOR SPACE REQUIREMENTS, ETC.
- 4. CONTRACTOR SHALL VERIFY ALL MECHANICAL EQUIPMENT NAMEPLATE DATA BEFORE ANY WORK IS DONE AND MAKE ANY ADJUSTMENTS IN BREAKER AND WIRE SIZE AS MAY BE REQUIRED.
- 5. IN THE EVENT OF ANY DISCREPANCIES AND OR ERRORS FOUND IN THE DRAWINGS, OR IF PROBLEMS ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL BE REQUIRED
- 6. TO NOTIFY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. IF THE ENGINEER IS NOT NOTIFIED THE CONTRACTOR SHALL TAKE RESPONSIBILITY FOR THE COST OF ANY REVISION.
- 7. THE ELECTRICAL DRAWINGS ARE SCHEMATIC AND ARE NOT INTENDED TO SHOW THE EXACT LOCATION OF CONDUITS, OUTLETS, ETC. THE CONTRACTOR SHALL REFER TO ARCHITECTURAL, MECHANICAL, AND PLUMBING DRAWINGS AND SHALL FIT HIS WORK TO CONFORM WITH THE BUILDING CONSTRUCTION, AND WITH THE OTHER TRADES.

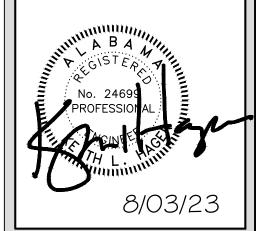
- 9. VERIFY ALL DOOR SWINGS WITH ARCHITECT BEFORE ROUGHING LIGHT SWITCHES.
- 10. CONTRACTOR SHALL CHECK ALL LIGHT FIXTURES FOR EXACT TYPE MOUNTING AND SPACE REQUIRED BEFORE ROUGHING IN.
- 11. FLUSH MOUNT ALL WIRING DEVICES.
- 12. CONCEAL ALL CONDUIT ABOVE CEILING, IN WALLS OR BELOW FLOOR SLAB
- 13. WHERE JUNCTION BOXES ARE INDICATED, COMPLETE WIRING TO EQUIPMENT WITH FLEXIBLE METAL CONDUIT AND APPROPRIATELY SIZED CONDUCTORS.
- 14. PROVIDE PLUG-IN TRANSIENT VOLTAGE SURGE SUPPRESSOR-INNOVATIVE TECHNOLOGY MODEL SPIU-2
- 15. TRANSIENT VOLTAGE SURGE SUPPRESSOR-INNOVATIVE TECHNOLOGY MODEL HP-277/480V. INSTALL PER MANUFACTURERS RECOMMENDATIONS.
- 16. ALL WIRING TO 120V DUPLEX RECEPTACLES SHALL BE 3-#12 IN 3/4" ELECTRIC METAL TUBING, UNLESS OTHERWISE NOTED.
- 17. ALL WIRING TO LIGHT SOURCES SHALL BE 3-#12 IN 3/4" ELECTRIC METAL TUBING, UNLESS OTHERWISE NOTED.
- 18. PAINT ALL EXTERIOR EXHAUST FANS, ROOF JACKS AND WALL CAPS TO MATCH EXTERIOR WALLS AND ROOFS. SUBMIT PROPOSED PAINT COLOR SAMPLES TO OWNER FOR APPROVAL.
- 19. THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF "THE MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" ISSUED BY AGC OF AMERICA, INC. AND THE "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION" ISSUED BY THE U. S. DEPARTMENT OF LABOR.

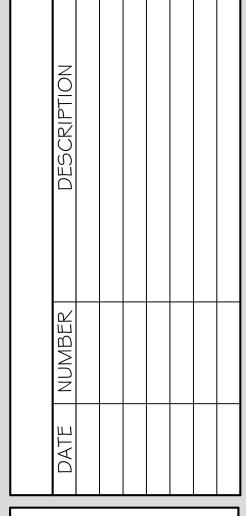
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DETAILS

PROJECT:
Building Renovation

Location:

Lake View, Alabama

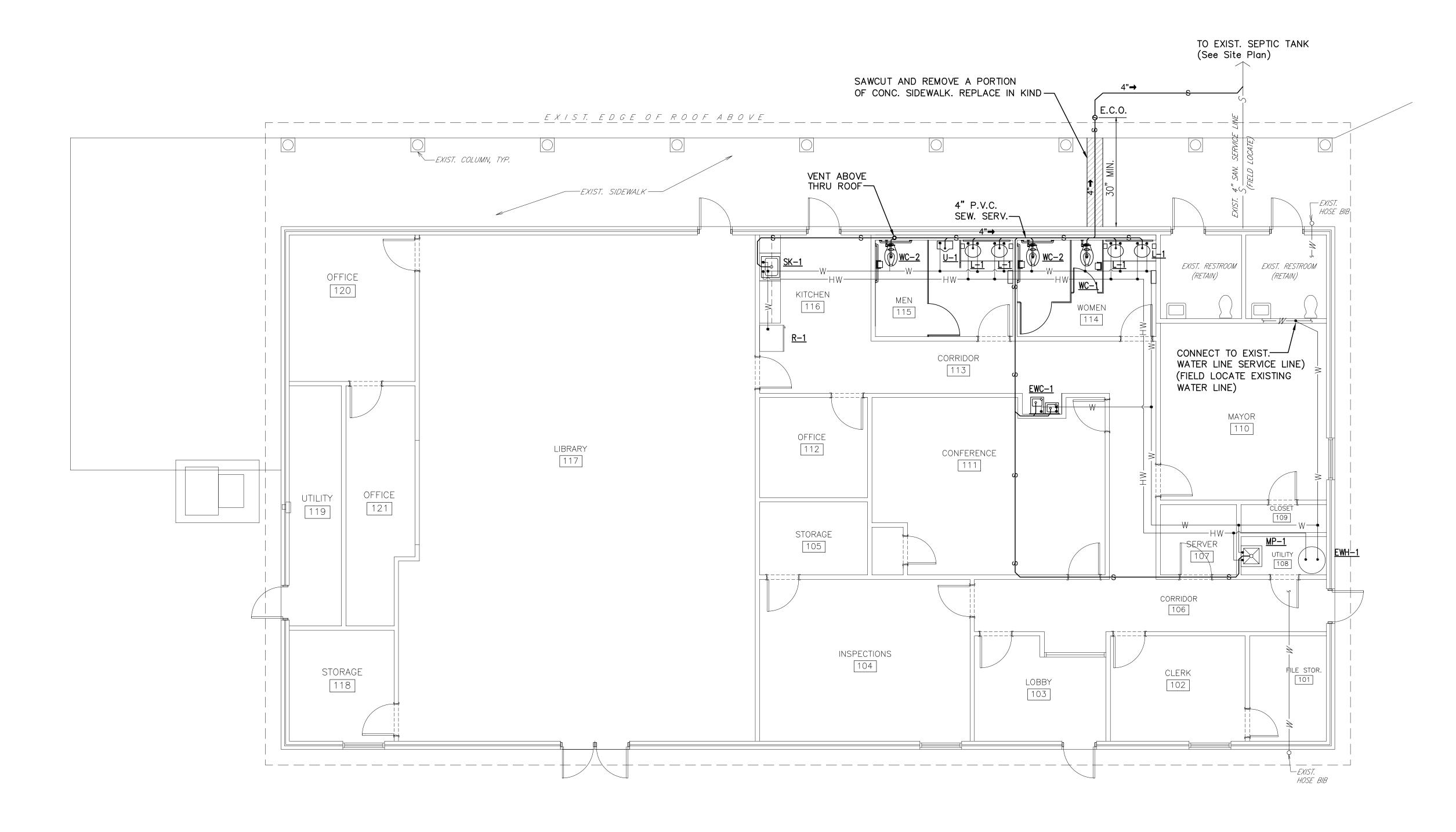
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Electrical Plan

E1.0

Sheet 12 Of 1



DESIGN NOTES:

A.) THESE PLANS ARE INTENDED TO BE THE SCHEMATIC PLANS FOR THE PROPOSED BUILDING. THE ARCHITECTURAL DESIGN OF THIS BUILDING IS INTENDED TO BE DESIGN / BUILD BY THE CONTRACTOR AND OWNER. THE ENGINEER DOES NOT IMPLY ARCHITECTURAL DESIGN BY THE SHOWING OF THE FLOOR PLANS. IT IS THE RESPONSIBILITY OF THE OWNER AND CONTRACTOR TO INSURE THAT ALL PARTS OF THESE PLANS AND DESIGNS COMPLY WITH ALL LOCAL, STATE AND NATIONAL CODES. ANY DISCREPANCY BETWEEN THE PLANS AND CODE AND THE APPLICABLE CODE SHALL GOVERN.

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01 PLUMBING PLAN

MARK	FIXTURE	WASTE	COLD WATER	HOT WATER	COMMENTS
WC-1	WATER CLOSET	3"	1"		FLOOR MOUNTED
WC-2	WATER CLOSET, ADA	3"	1"		FLOOR MOUNTED, ADA COMP.
L-1	LAVATORY	2"	1"	1/2"	ADA COMPLIANT, WALL MOUNTED
SK-1	KITCHEN TYPE SINK	2"	1"	1/2"	CABINET MOUNTED, 2 COMPARTMENT
MS-1	MOP SINK	2"	1"	1/2"	24"X24" FLOOR MOUNTED
U-1	URINAL	1.5"	3/4"		WALL MOUNTED
EWC	ELECTRICAL WATER COOLER	1.5"	1"	1/2"	BI-LEVEL, STAINLESS STEEL

SCALE: 3/16" = 1'-0"

── W ── COLD WATER ── HW ── HOT WATER ── W ── COLD WATER ── HW ── HOT WATER ── S ── SANITARY SEWER ── V ── VENT

PLUMBING LEGEND

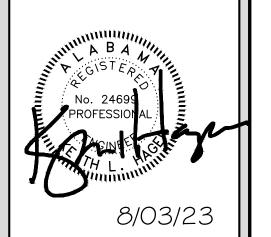
CO CLEAN OUTWCO WALL CLEAN OUTECO EXTERIOR CLEANOUT

A PROJECT FOR:

City of Lake View New City Building

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DATE NUMBER DESCRIPTION

DETAILS

PROJECT:
Building Renovation

Location: Lake View, Alabama

HagerCo-LLC

keithlhager@icloud.com Keith L. Hager, PE 1025 MONTGOMERY HIGHWAY, S 110 Birmingham, AL 35216 Direct: 205.229.1738

Plumbing Plan

P1.0

Sheet 13 Of 14

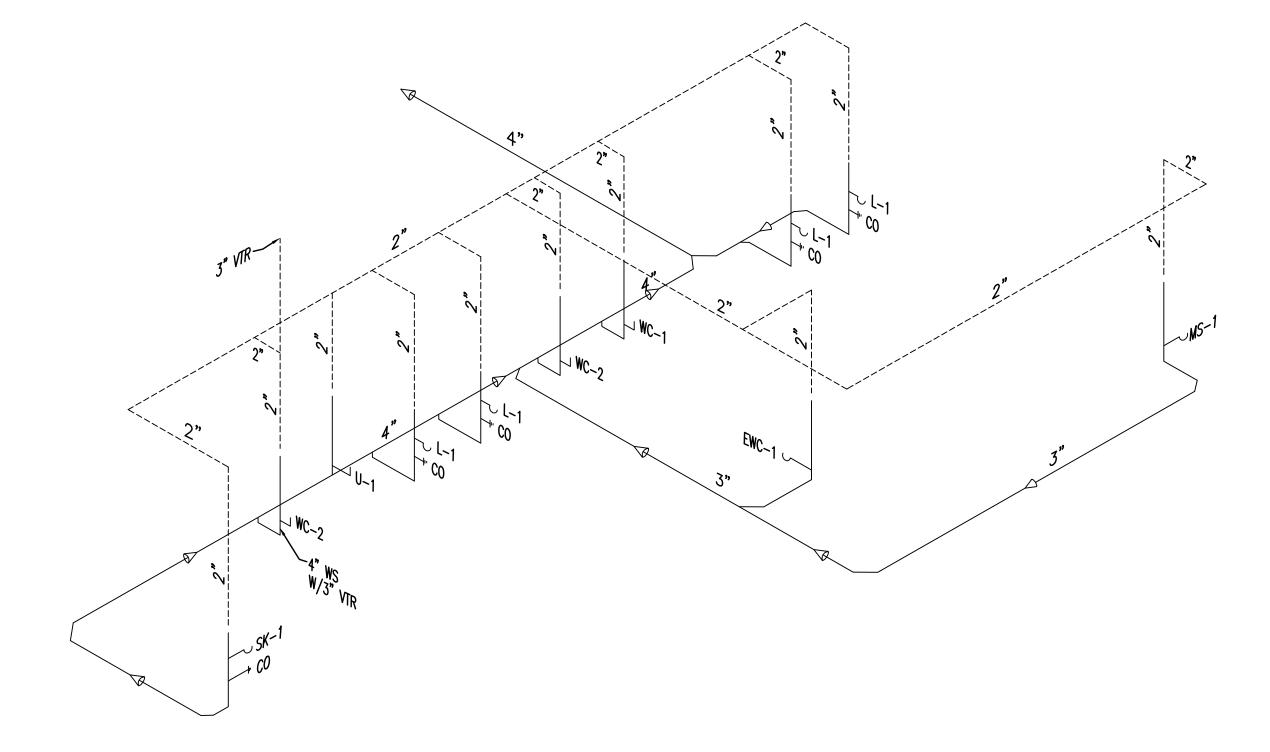
ELECTRIC WATER HEATER PIPING DETAIL NO SCALE

ELECTRIC WATER HEA	ATER SCHEDULE
IDENTIFICATION	EWH-1
MANUFACTURER	BRADFORD-WHITE
MODEL NUMBER	M1-80R60DS
STORAGE GAL.	80
WATER TEMP. SETTING	120
NO. ELEMENTS	2
K.W. EACH	9.0
TOTAL K.W.	9.0
HEATING SEQUENCE	NOTE 1
RECOVERY, GAL./HR.	20
WATER TEMP. RISE	70
VOLTAGE	240-1-60
REMARKS	2,3,4
NOTEC	

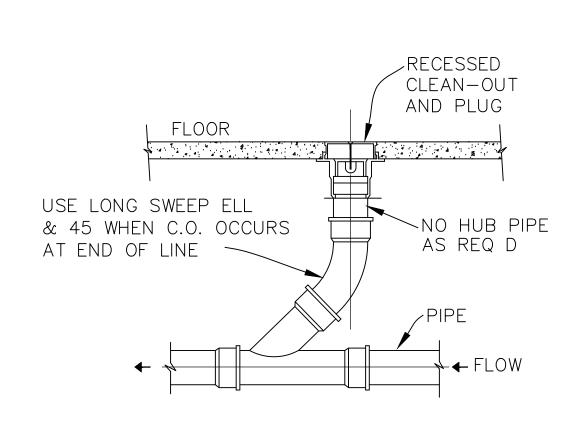
NOTES:

1. NON-SIMULTANEOUS OPERATION

- 2. U.L. LISTED
- 3. A.S.M.E. RATED TEMPERATURE AND PRESSURE RELIEF VALVE
- 4. PROVIDE 3" DEEP BY 24" SQUARE GALV. SHEETMETAL DRAIN PAN WITH DRAIN LINE
- 5. PIPE RELIEF VALVE COPPER DRAIN LINE TO DRAIN PAN WITH MINIMUM 1" AND A MAXIMUM 2" AIR GAP. INSTALL DRAIN LINE IN ACCORDANCE WITH RELIEF VALVE MANUFACTURERS RECOMMENDATIONS.



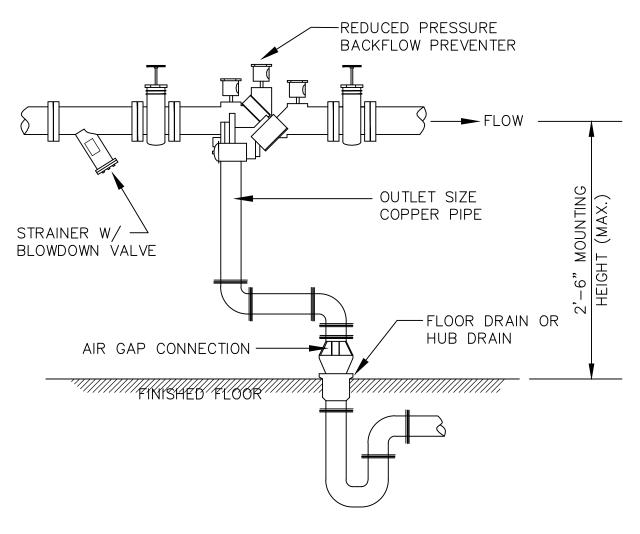
01 WASTE PIPES SCHEMATIC



INTERIOR/EXTERIOR

CLEAN OUT DETAIL

NO SCALE



REDUCED PRESSURE BACKFLOW PREVENTER
NO SCALE

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A PROJECT FOR:

City of Lake View New City Building

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DATE NUMBER
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PROJECT:
Building Renovation

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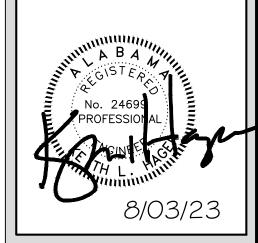
keithlhager@icloud.com Keith L. Hager, PE 1025 MONTGOMERY HIGHWAY, S 110 Birmingham, AL 35216 Direct: 205.229.1738

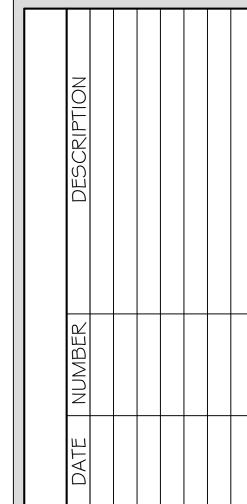
Plumbing Details

P1.1
Sheet 14 Of 15

Building City of Lake View New

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DETAILS

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Location: Lake View, Alabama

|HagerCo-LLC

<u>keithlhager@icloud.com</u> Keith L. Hager, PE 1025 MONTGOMERY HIGHWAY, S 110 Birmingham, AL 35216 Direct: 205.229.1738

Hvac Plan

M1.0Sheet 15 Of 15

100 CFM 300 CFM 300 CFM 150 CFM KITCHEN \bigcirc CONDENSING UNIT CU-1OFFICE 112 O MAYOR O CONDENSING UNIT 110 CU-28"ø 100 CFM √ 🖒 24 x 10 1 24 x 10 d> 16 x 10 ₹> 16 x 10 100 CEM 100 CFM 119 \bigcirc NOTE: LIBRARY ALL SUPPLY & RETURN DUCTWORK 117 100 CFM TO BE LOCATED IN OPEN AREA ABOVE \bigcirc 300 CFM LOBBY 100 CFM

GENERAL NOTES

- 1. ALL HVAC TO BE INSTALLED BY CONTRACTOR TO NATIONAL AND LOCAL CODES.
- 2. THE ABOVE HVAC LOCATIONS ARE NOT RIGID. PRECISE LOCATIONS WILL BE DETERMINED BY THE CONTRACTOR.
- 3. IN THE EVENT OF ANY DISCREPANCIES AND OR ERRORS FOUND IN THE DRAWINGS, OR IF PROBLEMS ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL BE REQUIRED TO NOTIFY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. IF THE ENGINEER IS NOT NOTIFIED THE CONTRACTOR SHALL TAKE RESPONSIBILITY FOR THE COST OF ANY REVISION.
- 4. THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF "THE MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" ISSUED BY AGC OF AMERICA, INC. AND THE "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION" ISSUED BY THE U. S. DEPART— MENT OF LABOR.
- 5. ALL HVAC IS SCHEMATIC AND ACTUAL LOCATIONS OF SUPPLY AND RETURN SHALL BE COORDINATED WITH OTHER DISCIPLINES.

GENERAL NOTES:

APPLY TO ALL HVAC DRAWINGS:

1. VERIFY EXISTING CONDITIONS PRIOR TO BEGINNING WORK; NOTIFY ENGINEER IN WRITING OF ANY DISCREPANCY OR PROBLEMS

2. DRAWINGS ARE SCHEMATIC ONLY AND DO NOT SHOW ALL DETAILS, OFFSETS, NOR CHANGE IN ELEVATIONS REQUIRED FOR A COMPLETE INSTALLATION.

3. PROVIDE REQUIRED OFFSETS IN PIPING AND DUCTWORK AS REQUIRED TO ACCOMMODATE FIELD CONDITIONS. CONTRACTOR SHALL COORDINATE WITH ALL OTHER TRADES.

- 4. DUCT SIZE NOTED ARE INSIDE DIMENSIONS.
- 5. FLEXIBLE DUCTS SHALL NOT BEND MORE THAN 45 DEG.
- 6. ALL GROUND MOUNTED UNITS SHALL BE LOCATED ON CONCRETE PAD PER MANUFACTURER SPECIFICATIONS.
- 7. LOCATE OUTSIDE AIR INTAKES A MINIMUM OF 10-FT FROM ANY PLUMBING VENT OR EXHAUST.
- 8. CONTRACTOR TO COORDINATE EXACT LOCATION OF ALL SUPPLY GRILLS AND RETURN VENTS WITH OWNER AND ARCHITECH.

01 HVAC PLAN

SCALE: 3/16" = 1'-0"

ALL RETURN DUCTWORK TO BE LOCATED ABOVE SUSPENDED AND

LEGEND OF SYMBOLS

RETURN DUCTWORK

- CEILING RETURN GRILL

THERMOSTAT

- FLEXIBLE AIR SUPPLY DUCT (W/ SIZE)

- CEILING SUPPLY GRILL (HART & COOLEY HVS)

8"ø FLEX

1

FINISHED CEILINGS.

			FAI	N SCH	HEDULE			
FAN NO.	SERVES	TYPE	CFM	APPROX.	SELECTION	MO	ΓOR	CONTROL OR
I AN NO.	SERVES	ITPE		S.P.	CRITERIA	HP	VOLTAGE	INTERLOCK WITH
EF-1	RESTROOM	CEILING MTD. CENTRIFUGAL BROAN MODEL OR EQ.	150	0.5	5 SONES MAX 1140 RPM MAX	100W	110/1/60	LIGHTS
EF-2	RESTROOM	CEILING MTD. CENTRIFUGAL BROAN MODEL OR EQ.	150	0.5	5 SONES MAX 1140 RPM MAX	100W	110/1/60	LIGHTS
EF-3	RESTROOM	CEILING MTD. CENTRIFUGAL BROAN MODEL OR EQ.	150	0.5	5 SONES MAX 1140 RPM MAX	100W	110/1/60	LIGHTS
EF-4	RESTROOM	CEILING MTD. CENTRIFUGAL BROAN MODEL OR EQ.	150	0.5	5 SONES MAX 1140 RPM MAX	100W	110/1/60	LIGHTS

		INDOO	R AC UNIT SYST	EM SCHEDULE		
	AREA	SUPPLY	ELECTRICAL	NOMINAL TONS	DESCRIPTION	COMMENTS
AH-1 CU-1	LIBRARY	2200 CFM	240/1 PH.	5	TRANE XR16 (5 TON)	MATCHING AIR HANDLER
AH-2 CU-2	OFFICE AREA	2200 CFM	240/1 PH.	5	TRANE XR16 (5 TON)	MATCHING AIR HANDLER

NOTES:

- 1. CAPACITIES ARE MINIMUM GROSS
- 2. PROVIDE NEOPRENE PAD ISOLATOR 3. PROVIDE 2" DEEP AUXILARY DRAIN
- WAY FILTER
- ECTRICAL CONNECTION
- 6. PROVIDE BELT DRIVE

5. PROVIDE SINGLE POIN
4. PROVIDE 2" THICK TH