

# Lake View, Alabama

# City Admin Building & Library

City Of Lake View, Alabama

Tuscaloosa, Alabama

Contract No. 22.009.03

A PROJECT FOR:  
City of Lake View

City of Lake View  
New City Building

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8/03/23

INDEX TO SHEETS

| Sheet No.     | Description                       | Page No. |
|---------------|-----------------------------------|----------|
| A0.0          | Title Sheet                       | 01       |
| A0.1          | General Notes                     | 02       |
| CIVIL         |                                   |          |
| C0.0          | Site Specifications               | 03       |
| C1.0          | Site Plan And Details             | 04       |
| Architectural |                                   |          |
| A1.0          | Floor Plan                        | 05       |
| A2.0          | Building Elevations               | 06       |
| A3.0          | Enlarged Toilet And Elevations    | 07       |
| A4.0          | Door, Window And Finish Schedules | 08       |
| A5.0          | Wall Sections                     | 09       |
| A6.0          | Reflective Ceiling Plan           | 10       |
| A7.0          | Finished Floor Plan               | 11       |
| Electrical    |                                   |          |
| E1.0          | Electrical                        | 12       |
| Plumbing      |                                   |          |
| P1.0          | Plumbing Plan                     | 13       |
| P1.1          | Plumbing Details                  | 14       |
| Mechanical    |                                   |          |
| M1.0          | Mechanical                        | 15       |



PROJECT LOCATION

AREA MAP  
No Scale

PROJECT LOCATION  
CITY OF LAKE VIEW  
TUSCALOOSA, ALABAMA



Area Map  
State Of Alabama

Recommended for Approval

*Keith L. Hager*  
Design Engineer

Recommended for Approval

Mayor, City of Lake View

DESCRIPTION

NUMBER

DATE

DETAILS

PROJECT:  
Building Renovation

Location:  
Lake View, Alabama

HagerCo-LLC

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Title Sheet

A0.0

Sheet 01 Of 15

General Notes

1.0 General Notes

1.1 Contractor shall notify Architect of any discrepancies found in the Drawings or Specifications prior to proceeding with construction. Contractor shall bear responsibility for verifying compliance of the shop Drawings with the Plans prior to ordering materials or beginning fabrication.

1.2 Contractor shall be responsible for complying with all applicable Codes or Statutes with regard to the construction of this Project, whether specifically referred by the Contract Documents or not.

1.3 NOT USED

1.4 Contractor shall verify and coordinate specific requirements for Owner-provided and/or installed Equipment and equipment provided and installed under separate contract.

1.5 All Contractors shall be responsible for coordinating their work with that of other contractor's work included in the Contract Documents. All correspondence to and from Subcontractors shall be routed through the General Contractor.

1.6 Adjacent Work which is damaged during execution of this contract Work, shall be the responsibility of the Contractor who damages such to repair to the satisfaction of the Owner and Architect prior to final acceptance of the Work.

1.7 Contractor shall comply with all requirements of the current Geotechnical Report. See Appendix A in the project manual.

1.8 Contractor to provide all government-required signage necessary for Certificate of Occupancy (Fire lane signage, "DO NOT BLOCK DOOR", etc.).

1.9 The Architect assumes the Contractor has included in his bid the highest quality and greatest quantity for the purpose of resolving any conflicts in the Construction Documents which are implied or inferred.

1.10 The Contractor shall field verify all conditions and dimensions prior to commencing any Work.

1.11 The General Contractor shall be responsible for the security and safety of the Site as required in the Contract Documents. This shall include all temporary fencing, barricades, etc. required to secure the site. Including items not specifically noted in the contract, but required for security or safety of the site.

1.12 All fire rated construction shall conform with U.L. tested standards and/or local requirements, whichever is more stringent.

1.13 The project documents provide that no asbestos products, PC's or other substances deemed toxic or hazardous under applicable Federal or State laws, rules, regulations or ordinances, are to be contained or incorporated in the Project Work. Further, all contractors, subcontractors, manufacturers and suppliers whose equipment, materials and products are incorporated in the work shall provide a certification acceptable to owner warranting that their equipment, materials or products are free from asbestos, asbestos products, PC's or other substances deemed hazardous by applicable federal or state laws, rules, regulations, or ordinances.

1.14 Contractor to include in bid, all miscellaneous material including, but not limited to fasteners, hangers, furring strips, blocking, trim and other materials not specifically indicated but required for a complete installation of their work.

1.15 Contractors are responsible for all work described in contract documents. Contractors shall review all documents, as there is no limit on where description of work is included. No change orders will be considered for failure to review all contract documents. General Contractor shall be responsible for distribution of documents to all trades performing work on the facility.

1.16 Unless otherwise stated by the Contract Documents, the Contractor is responsible for obtaining all permits required for construction, including any fee's assessed by local authorities.

1.17 No work defective in workmanship or quality or deficient in any requirements of the contract documents will be acceptable despite the architect's/owners failure to discover or point out defects or deficiencies during construction. Defective work revealed or discovered within the time required by the guarantee shall be replaced by work conforming to the intent of the contract. No payment, either partial or final, shall be construed as an acceptance of defective work of improper materials.

1.18 Shall any portion of the contract documents prove to be unenforceable, such enforceability shall not extend to the remainder of the contract nor shall it void any other provisions of the contract.

1.19 Contractor shall provide miscellaneous labor for unloading and storage of any owner supplied equipment as required by the documents. Coordinate with Owner for additional information regarding scheduling, scope, etc.

1.20 The Contractor is responsible for maintaining a current set of construction documents (including any written addenda construction bulletins, supplemental instructions, etc.) on site during construction. The Contractor shall indicate on these documents all approved changes per specifications.

1.21 NOT USED.

1.22 Contractor is responsible for proper storage and handling of all material on-site. Material damaged due to improper handling, or inadequate protection during storage shall be repaired or replaced prior to final acceptance.

1.23 General Contractor shall provide Contractor's Punch List prior to requesting final inspection. Final inspection will not be scheduled until the General Contractor's punch list is received by the Architect.

2.0 Sitework Notes:

2.1 Foundations have been designed for allowable soil bearing as noted on Structural Drawings. The General Contractor shall be responsible for coordinating inspection of soil conditions after excavation with Owner's testing service to determine if bearing capacity is sufficient and maintaining excavation in such a away that the bearing capacity is maintained until placement of footing

2.2 Over-excavation of foundations shall be filled only as directed by the Structural Engineer.

2.3 Provide 18" x 24" concrete splash blocks at all downspouts (U.N.O.).

2.4 Refer to Civil drawings for paving thickness, curb types, longitudinal and horizontal control.

2.5 For building location dimensions and set back refer to civil drawings. Contractors shall layout buildings completely prior to beginning foundations and report any discrepancies to the architect/civil engineer for resolution.

2.6 Coordinate transformer pad locations with Electrical and Civil drawings. Transformer pads shall comply with all requirements of local power company and local authorities.

2.7 Any damage by Contractors or their subcontractors to existing asphalt pavement and/or existing landscaping shall be repaired at reasonable time of discovery.

2.8 Contractors shall verify all on-site conditions and notify the Architect of any discrepancies or omissions, within reasonable time of discovery.

2.9 All sidewalks are to be light broom finished unless noted otherwise; all sidewalks are to match.

2.10 Not used.

2.11 Final connections to underground utility lines at 5' outside the Building shall be made by the applicable Respective Trade Contractor. Locations of the lateral shall be confirmed with civil at time of bid and again prior to installation. No change orders will be considered for failure to coordinate with civil prior to bid or installation.

2.12 All exterior sidewalk expansion joints to receive traffic bearing, pourable sealant.

2.13 All control joints at sidewalks to be tooled U.N.O.

2.14 Contractor is responsible for maintaining consistent curb heights (6" typical U.N.O.) as indicated on drawings, except at ramps and flush curb conditions where paving and top of concrete are flush. (Refer to civil drawings.)

3.0 Concrete Notes:

3.1 Design loads are as specified by the Structural Drawings.

3.2 Interior floor slabs are to be finished to receive floor finishes as noted in the Finish Schedule.

3.3 Provide vapor barrier under all interior slab-on-grade concrete as specified (unless specifically noted otherwise).

4.0 Masonry Notes:

4.1 All clay masonry veneer shall be 100% solid material at corbel and reveal trim work and at outside corners of the soldier course. Provide special shapes as indicated on drawings. (No cores shall be visible in finished work.)

4.2 Provide seismic veneer ties.

5.0 Steel Notes:

5.1 Contractor shall coordinate miscellaneous structural or non-structural steel members shown architecturally (but not structurally) with other Contractors work.

5.2 All miscellaneous steel is required to be galvanized or primed. (Refer to specifications.) No raw steel will be allowed unless specifically noted.

6.0 Wood Notes:

6.1 Contractor shall be responsible for coordinating and providing required blocking for any/all wall mounted Equipment and Fixtures.

6.2 All wood decking, sheathing and in-wall blocking used shall be fire retardant lumber as required and accepted by the Building Inspection Department.

7.0 Thermal & Moisture Protection Notes:

7.1 All flashing details are to be in accordance with SMACNA "Architectural Sheet Metal Manual", Sixth Edition, dated 2003 or the most current version at time of installation.

7.2 All gutters, downspouts, gravel stops, fascias, flashing, louvers, screens, metal structures and any roof penetrations are to be installed and fabricated as per SMACNA standards or in accordance with roofing Manufacturer's recommendations as required to obtain Manufacturer's warranties required by the specifications.

7.3 R-ratings for assemblies are to meet or exceed the energy efficiency requirements of the current Energy Code, or values below whichever is greater. Minimum requirements are as follows:  
Walls = R-13 + R-3.8 continuous; Roof = R-20.

7.4 Contractor shall provide flashing for all window, storefront and door jambs, sills and heads. Flashing shall match the color of the storefront. Submit Shop Drawings prior to start of Construction.

7.5 Caulk the entire interior and seal the exterior perimeter of all doors, storefront, windows and any penetrations.

7.6 All exterior doors are to be fully weatherstripped with thresholds set in caulking bed (unless noted otherwise). Provide rain guards at head of all exterior doors.

7.7 Contractor is to provide a thermal barrier between the metal deck and the insulation. Appropriate thermal barrier is dictated in the Foam Plastics Insulation section of the current Building Code. Thermal barrier may be omitted only if the Contractor can provide test data, which states that the insulation intended for use on this Project passes UL 1256 and/or FM 4450.

7.8 Contractor to provide sill flashing at aluminum storefront or system, sill flashing shall be by fabricator of aluminum window wall or storefront system and shall match the color of the storefront.

7.9 Provide bituminous dampproofing over all C.M.U., where architectural veneer or brick veneer occurs and behind metal cornice panels.

7.10 Sealant, caulking, and flashing, etc. locations shown on drawings are not intended to be all-inclusive. Follow manufacturer's recommendations and standard industry building practices.

7.11 Seal all penetrations at exterior building shell to ensure weather tightness.

7.12 Provide waterproofing, protection board, and drain rock at all locations where exterior finish grade is above finish floor.

7.13 Provide moisture barrier at all gypsum sheathing. See specifications.

8.0 Door Notes:

8.1 Hollow metal door frames located in exterior block walls shall be filled with grout.

8.2 Exterior and interior passage doors where operable hardware is provided shall be equipped with handles, pulls, latches, locks and other operating hardware devices having a shape that is easy to grasp with one hand and does not require tight grasping, thigh pinching or any wrist-twisting motion to operate. All hardware shall meet ADA requirements.

8.3 To aid blind, visually impaired persons or persons with low vision capabilities, doors leading to loading docks or platforms, boiler rooms, stages, electrical equipment rooms, etc. shall be made readily identifiable to the touch by a textured surface on the door handle, knob, pull or other operating hardware. All hardware shall meet ADA requirements.

8.4 Hardware Supplier to verify that all door hardware installed on this project meets the requirements of the Americans with Disabilities Act (ADA). Notify any deficiencies to the Architect for resolution prior to bid.

8.5 Unless noted otherwise, locate the edge of the hinge side jamb 4" from inside the face of the perpendicular partition.

9.0 Finishes Notes:

9.1 All walls in toilets shall be concrete block or water resistant gypsum board (U.N.O.) in accordance with the Floor Plans and Finish Schedule. (See Finish Schedule for particular requirements.) Walls with tile shall be on the backer board as specified.

9.2 Clean and prime all surfaces prior to painting in accordance with the painting Manufacturer's recommendations. Paint all six surfaces of doors.

9.3 Metal access panels and electrical panel louvers shall not be painted with latex paint. Paint panels with oil based gloss enamels matching Manufacturer's recommendations.

9.4 Metal stud gauges and bracing requirements for interior partitions shall be as recommended and/or required by the stud Manufacturer (and all applicable Codes) for each specific condition unless noted otherwise.

9.5 NOT USED.

9.6 Interior finishes shall meet or exceed requirements for flame spread and smoke developed as defined in the applicable codes.

9.7 Light gauge framing is shown as schematic and shall be confirmed in field. Subcontractor to include all secondary supports, bracing, misc. material, etc. required for complete installation. Suspension of stud framing from roof deck is strictly prohibited.

9.8 All unfinished components exposed to view or weather shall be painted. Refer to specifications.

9.9 Light gauge framing shall not be allowed below grade. Provide CMU or concrete foundation wall to minimum first course above grade.

15.0 Plumbing Notes:

15.1 Toilets shall be handicapped accessible as required by applicable Laws, Codes & Statutes, and shall meet ADA requirements.

15.2 The entire structure shall be sprinklered in accordance with applicable Codes. Contractor shall provide Shop Drawings and obtain all requisite approvals prior to installation.

16.0 Electrical Notes:

16.1 Electrical subcontractor shall submit detailed layout of all electrical equipment prior to beginning installation.

17.0 Fire Department Notes:

17.1 No portion of the Building shall exceed 500 ft. (or code maximum) from a fire hydrant for the distribution of the fire hose.

17.2 Provide a sufficient number of 2A rated fire extinguishers in order that all portions of the Building are within 75 ft. travel distance of said extinguisher; and so that at least one 2A rated fire extinguisher is provided for each 3,000 SF of floor space or portion thereof.

17.3 Every building shall be accessible to Fire Department apparatus by way of access roadways with all-weather driving surface of not less than 20 ft. of unobstructed width, with adequate roadway turning radius capable of supporting the imposed loads of fire apparatus and having a minimum vertical clearance of 13 ft. 6 in.

17.4 Where exit lights, signs or the exits themselves are not visible from the exit approach, directional signs indication the way of egress shall be provided as shown on Drawings.

17.5 Separate or emergency source of illumination shall be provided in the following occupancies:  
Windowless Buildings  
interior egress corridors with no natural illumination occupant capacities exceeding 150 persons.  
occupant capacities exceeding 150 persons.

17.6 Knox boxes shall be provided at all buildings for fire personnel entry. Contractor shall confirm mounting locations and any specific requirements with local authorities prior to submitting the bid.

END OF NOTES

A PROJECT FOR:  
City of Lake View

City of Lake View  
New City Building

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| DATE | NUMBER | DESCRIPTION |  |  |  |  |
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DETAILS

PROJECT:  
Building Renovation

Location:  
Lake View, Alabama

HagerCo-LLC

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Birmingham, AL 35216  
Direct: 205.229.1738

General Notes

A0.1  
Sheet 02 Of 15





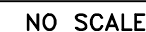
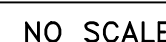


1. Contractor and/or Developer shall notify the Jefferson County Department of Roads and Transportation (325-5232) at least 72 hours prior to any work being performed within the County R.O.W. or for any work that is to be inspected and approved by the County Roads and Transportation Department.
2. All existing and required county right-of-ways and easements are shown on the construction plans. Structures such as walls, signs, fences, buildings, etc. or plants such as trees or shrubs shall not be placed in the right-of-ways or easements without proper approval from Jefferson County.
3. Other than shown on approved plans, grading operations involving cutting or filling shall not be allowed within Jefferson County right-of-ways and easements.
4. The Owner or Developer shall provide the Contractor with executed permits for community identification signs, (if required) and landscaping, (if required) to be placed in Jefferson County right-of-ways or easements.
5. Utilities are shown on the drawings in an approximated location. The Contractor shall verify and mark all underground utilities prior to construction and use care in his operations to avoid rupturing lines which shall be repaired or relocated at the Contractor's expense. The Contractor shall contact all utilities prior to construction.
6. The Contractor shall be responsible for all construction layout. Benchmarks will be provided by the Engineer, if necessary.
7. The Contractor shall comply with all pertinent provisions of "THE MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" issued by the AGC of America, Inc. and the "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION" issued by the U.S. Department of Labor.
8. In the event of any discrepancies and or errors found in the drawings, or if problems are encountered with the work, the Contractor shall be required to notify the Engineer before proceeding with the work. If the Engineer is not notified the Contractor shall take responsibility for the cost of any revision.
9. Individual property surveys have not been made on all tracts shown herein for the delineation of property lines.
10. All work inside of right-of-way shall be completed within strict accordance with Alabama Department of Transportation standard specifications for construction.

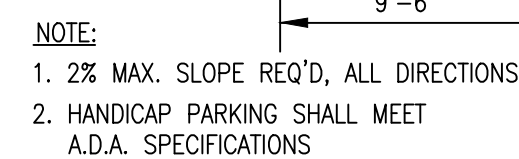
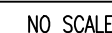
1. All Construction to be in accordance with Jefferson County Specifications.
2. Contractor and/or developer shall be responsible for construction and maintenance of erosion and sedimentation controls during construction for protection of adjacent properties, roadways and waterways.
3. Contractor and/or developer are responsible for providing a building site free of drainage problems.
4. Contractor and/or developer shall be responsible for maintaining a proper traffic control plan for public safety adjacent to construction site. The traffic control plan must be in accordance with the latest MUTCD edition.
5. All utilities within roadway shall be back filled with stone in accordance with Article 6 of the Jefferson County Subdivision and Construction Regulations.
6. In regard to the utility connections, possible relocations, and other work proposed within the Jefferson County right-of-way, please have the Contractor that will perform the proposed construction within said right-of-way contact Terry Rich, Chief Utility Inspector of the Jefferson County Roads and Transportation Department, at 325-5128 for more information concerning the necessary permits and requirements for this construction. Notification of Mr. Rich is in ADDITION to the notification requirement for beginning work within the right-of-way as outlined in the pre-construction conference and/or the approval notes shown on the plan set for these improvements.
7. All drainage structures within an existing or proposed Jefferson County right-of-way shall be cast-in-place and meet or exceed ALOD specifications. This comment does not apply to rights-of-way within a proposed subdivision.



NO SCALE



- Ⓐ - 4" SOLID WHITE STRIPING
- Ⓑ - 4" SOLID BLUE (MEDITERANIAN BLUE TRAFFIC PAINT) @ 2'-0" O.C.
- Ⓒ - SOLID WHITE TRAFFIC CONTROL MARKINGS (CROSSWALK)



## NO SCALE



8/03/23

[illegible]

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## Sheet 04 Of 15



City of Lake View  
New City Building

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8/03/23

DESCRIPTION

DATE NUMBER

DETAILS

PROJECT:  
Building Renovation

Location:  
Lake View , Alabama

HagerCo-LLC

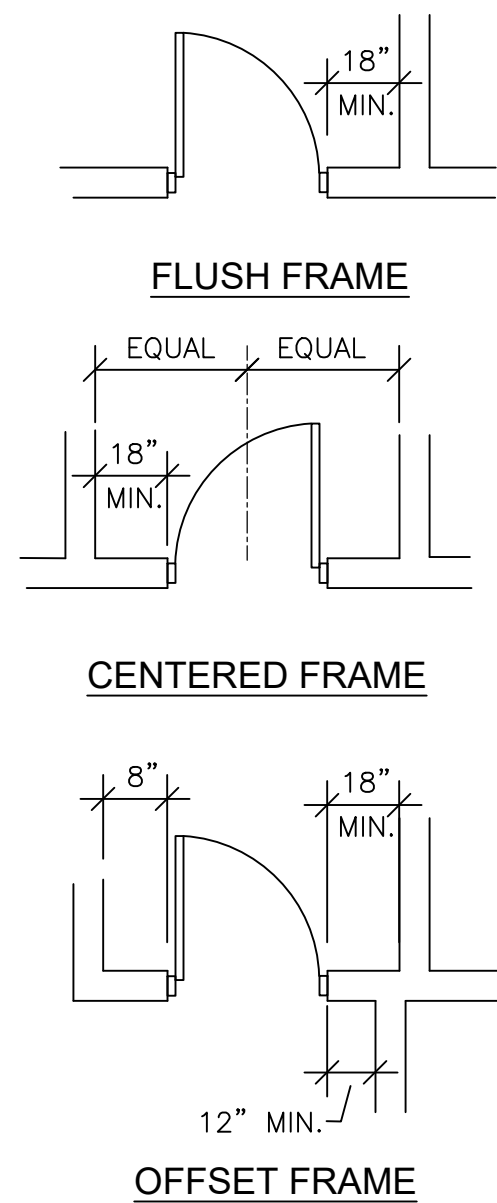
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Floor Plan

A1.0  
Sheet 05 Of 16

| ARCHITECTURAL LEGEND |                            |
|----------------------|----------------------------|
| DETAIL MARK          |                            |
| 5<br>A03             | DETAIL NUMBER              |
| 5<br>A03             | SHEET DETAIL APPEARS ON    |
| 01<br>A5             | INTERIOR ELEVATION MARK    |
| 01<br>A5             | ELEVATION NUMBER           |
| 01<br>A5             | SHEET ELEVATION APPEARS ON |
| 4<br>A6              | SECTION MARK               |
| 4<br>A6              | ELEVATION NUMBER           |
| 4<br>A6              | SHEET ELEVATION APPEARS ON |
| P-1                  | PARTITION MARK             |
| A                    | DOOR MARK                  |
| 1                    | WINDOW MARK                |
| 101                  | ROOM MARK                  |
| 1<br>A6              | EXTERIOR ELEVATION MARK    |
| 1<br>A6              | ELEVATION NUMBER           |
| 1<br>A6              | SHEET ELEVATION APPEARS ON |
| A                    | COLUMN REFERENCE MARK      |

DOOR PLACEMENT LEGEND



| PARTITION SCHEDULE  | NON-RATED | 1 HR. RATED | EXTEND TO TO CLG. JOISTS | SOUND INSULATION | GYPSUM BOARD | TILE ON BACKER BD. |
|---|-----------|-------------|--------------------------|------------------|--------------|--------------------|
| 1A EXISTING EXTERIOR LOAD BEARING WALL: REMOVE EXISTING PLYWOOD SHEATHING ON INSIDE WALL. INSTALL INSULATION, IF NECESSARY. INSTALL NEW 5/8" GYPSUM BOARD.  | NR        |             |                          |                  | (ONE SIDE)   |                    |
| 1B NON-RATED PARTITION: TILE ON BACKER BOARD ON ONE SIDE OF 6" WOOD STUD FRAMING AT 16" O.C.. EXTEND PARTITION, TILE & BACKER BOARD TO EXISTING BOTTOM TRUSS CHORD.   | NR        |             |                          |                  |              | TILE (ONE SIDE)    |
| 1C NON-RATED GYPSUM BOARD PARTITION (EXISTING): REMOVE EXISTING PLYWOOD SHEATHING. INSTALL INSULATION, IF NECESSARY. INSTALL 5/8" GYPSUM BOARD ON ONE SIDE.   | NR        |             |                          |                  | (ONE SIDE)   |                    |
| 1D NON-RATED GYPSUM BOARD PARTITION: 5/8" GYPSUM BOARD ON BOTH SIDES OF 4" WOOD STUD FRAMING AT 16" O.C.. EXTEND PARTITION & GYP. BOARD TO EXISTING BOTTOM TRUSS CHORD. (THIS PARTITION BECOMES LOAD SUPPORTING OF EXISTING TRUSSES, WHERE APPLICABLE). | NR        |             |                          |                  | (BOTH SIDES) |                    |

01 FLOOR PLAN

SCALE: 3/16" = 1'-0"

| PARTITION SCHEDULE   | NON-RATED | 1 HR. RATED | EXTEND TO TO CLG. JOISTS | SOUND INSULATION | GYPSUM BOARD | TILE ON BACKER BD. |
|--|-----------|-------------|--------------------------|------------------|--------------|--------------------|
| 1E NON-RATED GYPSUM BOARD PARTITION: 5/8" GYPSUM BOARD ON BOTH SIDES OF 4" WOOD STUD FRAMING AT 16" O.C.. EXTEND PARTITION & GYP. BOARDS TO EXISTING BOTTOM TRUSS CHORD. FILL WITH ATTENUATION BLANKETS. (THIS PARTITION BECOMES LOAD SUPPORTING OF EXIST. TRUSSES, WHERE APPLICABLE).   | NR        |             |                          | SI               | (BOTH SIDES) |                    |
| 1F NON-RATED PARTITION: TILE ON BACKER BOARD ON BOTH SIDES OF 4" WOOD STUD FRAMING AT 16" O.C.. EXTEND PARTITION, TILE & BACKER BOARD TO EXISTING BOTTOM TRUSS CHORD.  | NR        |             |                          |                  |              | TILE (BOTH SIDES)  |
| 1G NON-RATED GYPSUM BOARD PARTITION: TILE ON BACKER BOARD ON ONE SIDE, GYPSUM BOARD ON OTHER SIDE OF 4" WOOD STUD FRAMING AT 16" O.C.. FILL WITH ATTENUATION BLANKETS. EXTEND PARTITION, GYPSUM BOARD, TILE & BACKER BOARD TO EXISTING BOTTOM TRUSS CHORD. (THIS PARTITION BECOMES LOAD SUPPORTING OF EXISTING TRUSSES, WHERE APPLICABLE). | NR        |             |                          |                  | (ONE SIDE)   | TILE (ONE SIDE)    |
| 1H NON-RATED GYPSUM BOARD PARTITION: 5/8" GYPSUM BOARD ON ONE SIDE OF 4" WOOD STUD FRAMING AT 16" O.C.. EXTEND PARTITION & GYP. BOARD TO EXISTING DOOR HEADER.   | NR        |             |                          |                  | (ONE SIDE)   |                    |

WALL TYPE LEGEND

- 4" WOOD STUD WALL, UNLESS OTHERWISE NOTED
- STUD WALLS WITH ATTENUATION BLANKETS

NOTE:

1. USE MOISTURE RESISTANT GYPSUM BOARD IN ALL WET AREAS.

GENERAL NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION LAYOUT.
- IN THE EVENT OF ANY DISCREPANCIES AND OR ERRORS FOUND IN THE DRAWINGS, OR IF PROBLEMS ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL BE REQUIRED TO NOTIFY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. IF THE ENGINEER IS NOT NOTIFIED THE CONTRACTOR SHALL TAKE RESPONSIBILITY FOR THE COST OF ANY REVISION.
- THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF "THE MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" ISSUED BY AGC OF AMERICA, INC. AND THE "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION" ISSUED BY THE U. S. DEPARTMENT OF LABOR.
- ALL HANDICAP WORK PERFORMED BY THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE "AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES," ISSUED BY THE U.S. ARCHITECTURAL AND TRANSPORTATION BARRIERS COMPLIANCE BOARD.

REMOVE EXISTING OVERHEAD DOOR AND ASSOCIATED CONSTRUCTION. INSTALL STUD WALL AND BRICK FACADE. (MATCH EX. BRICK)

REMOVE A PORTION OF EXISTING WALL TO ALLOW FOR NEW DOORS. PROVIDE HEADERS.

REMOVE A PORTION OF EXISTING WALL TO ALLOW FOR NEW WINDOW. PROVIDE HEADER.

REMOVE A PORTION OF EXISTING WALL TO ALLOW FOR NEW DOOR. PROVIDE HEADER.

REMOVE A PORTION OF EXISTING WALL TO ALLOW FOR NEW WINDOW. PROVIDE HEADER.

REMOVE EXISTING OVERHEAD DOOR AND ASSOCIATED CONSTRUCTION. INSTALL STUD WALL AND BRICK FACADE. (MATCH EXIST. BRICK)

NOTE:  
REMOVE EXISTING SHUTTERS ON FRONT OF BUILDING. RETURN TO OWNER FOR STORAGE, AS DIRECTED.

A PROJECT FOR:  
City of Lake View

City of Lake View  
New City Building

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[illegible]

## DETAILS

PROJECT:  
Building Renovation

Location:  
Lake View, Alabama

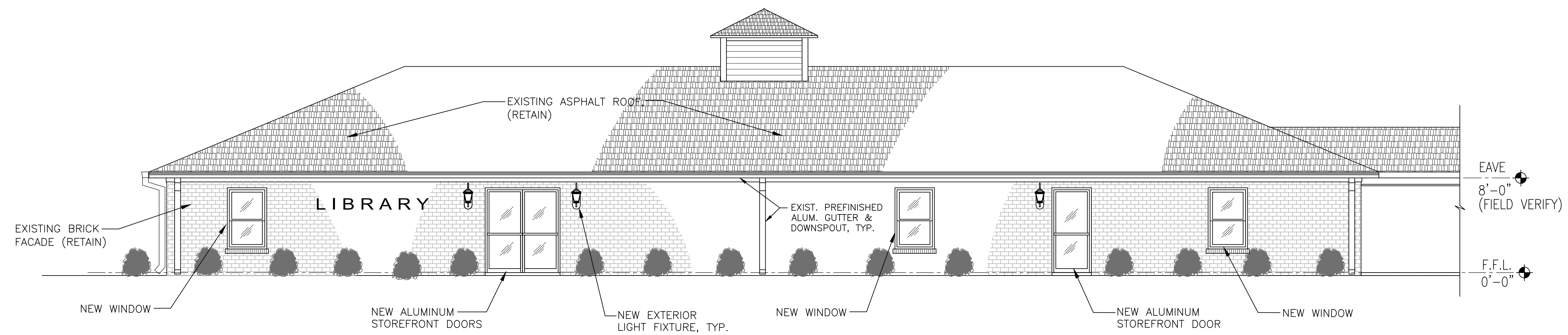
HagerCo-LLC

[keithlhager@icloud.com](mailto:keithlhager@icloud.com)  
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HIGHWAY, S 110  
Birmingham, AL 35216  
Direct: 205.229.1738

## Building Elevations

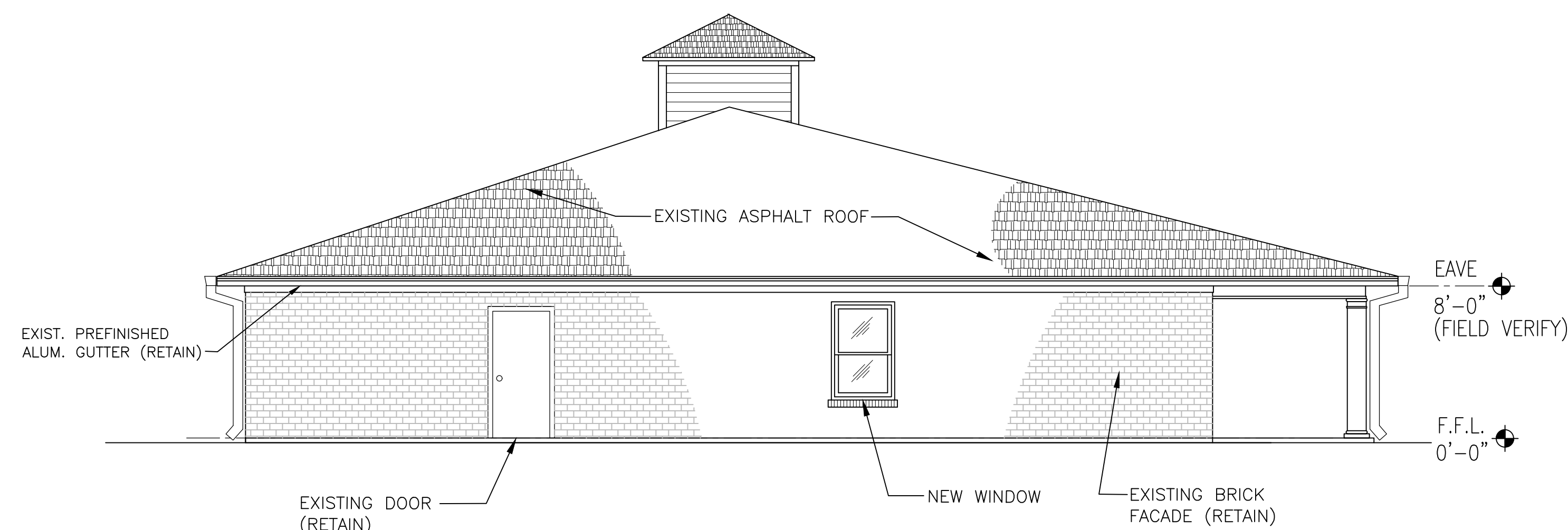
## A2.0

Sheet 06 Of 15



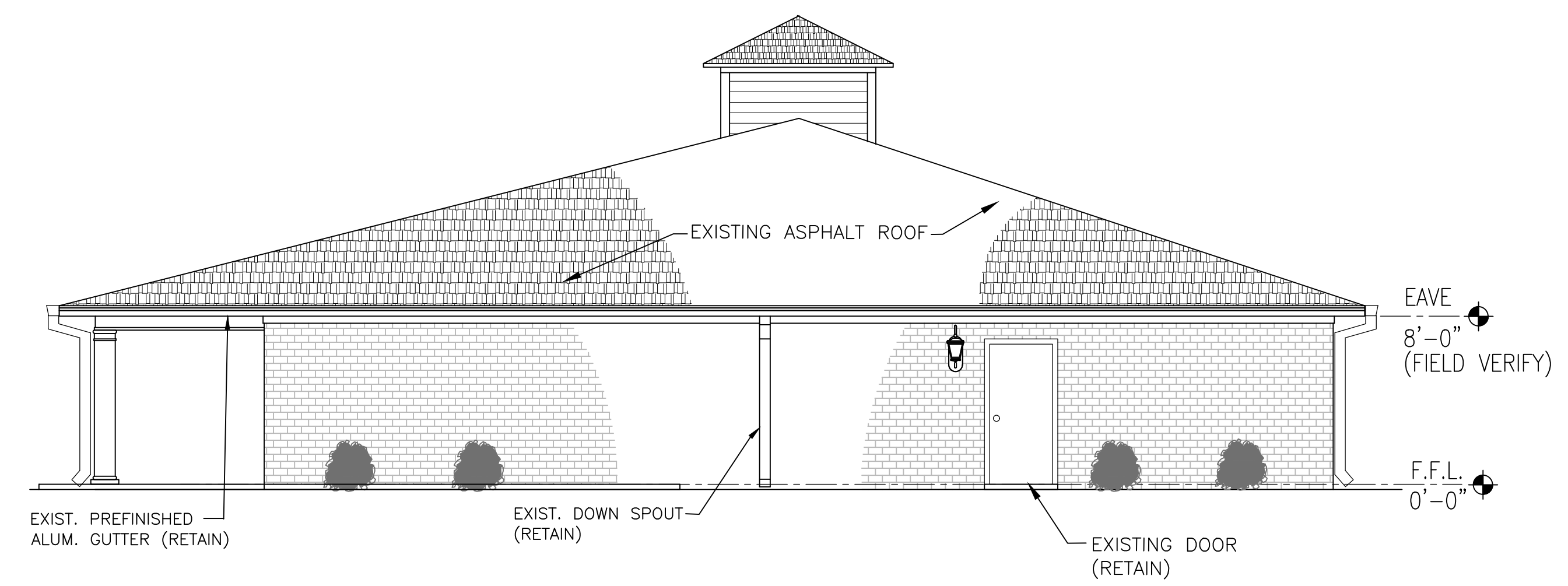
## A FRONT ELEVATION

SCALE:  $3/16" = 1'-0"$



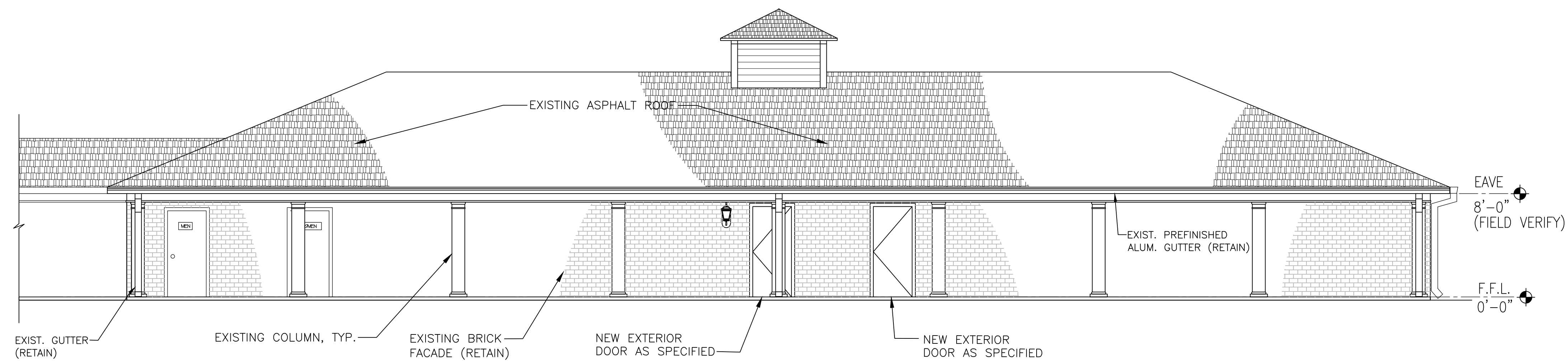
### **B** SIDE ELEVATION

SCALE: 3/16" = 1'-0"



### C SIDE ELEVATION

SCALE:  $3/16" = 1'-0"$



## REAR ELEVATION

SCALE:  $3/16" = 1'-0"$

8/03/23

DESCRIPTION

DATE

DETAILS

PROJECT:  
Building Renovation

Location:  
Lake View, Alabama

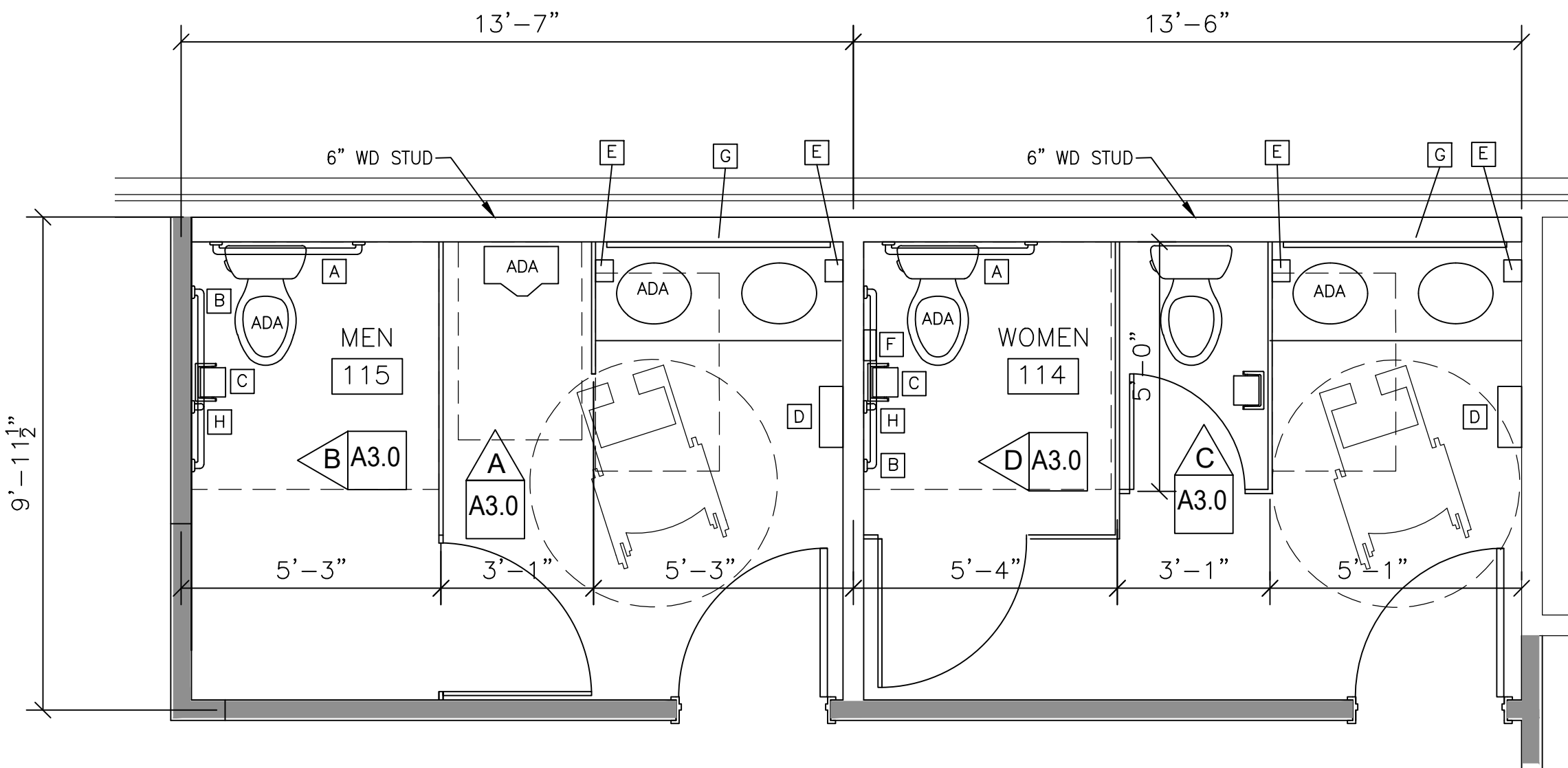
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Enlarged Toilets &  
Elevations

A3.0  
Sheet 07 Of 16

| ARCHITECTURAL LEGEND    |                            |
|-------------------------|----------------------------|
| DETAIL MARK             |                            |
|                         | DETAIL NUMBER              |
|                         | SHEET DETAIL APPEARS ON    |
| INTERIOR ELEVATION MARK |                            |
|                         | ELEVATION NUMBER           |
|                         | SHEET ELEVATION APPEARS ON |
| SECTION MARK            |                            |
|                         | ELEVATION NUMBER           |
|                         | SHEET ELEVATION APPEARS ON |
| PARTITION MARK          |                            |
|                         | DOOR MARK                  |
|                         | ROOM MARK                  |
|                         | ROOM MARK                  |
|                         | ROOM MARK                  |
| EXTERIOR ELEVATION MARK |                            |
|                         | ELEVATION NUMBER           |
|                         | SHEET ELEVATION APPEARS ON |
| COLUMN REFERENCE MARK   |                            |
|                         |                            |



NOTE:  
HANDICAPPED ACCESSIBLE SINK,  
MIRROR, SOAP DISPENSER &  
PAPER TOWEL DISPENSER, TYPICAL  
FOR ALL RESTROOMS. ADA COMPLIANT  
RESTROOMS ARE REQUIRED.

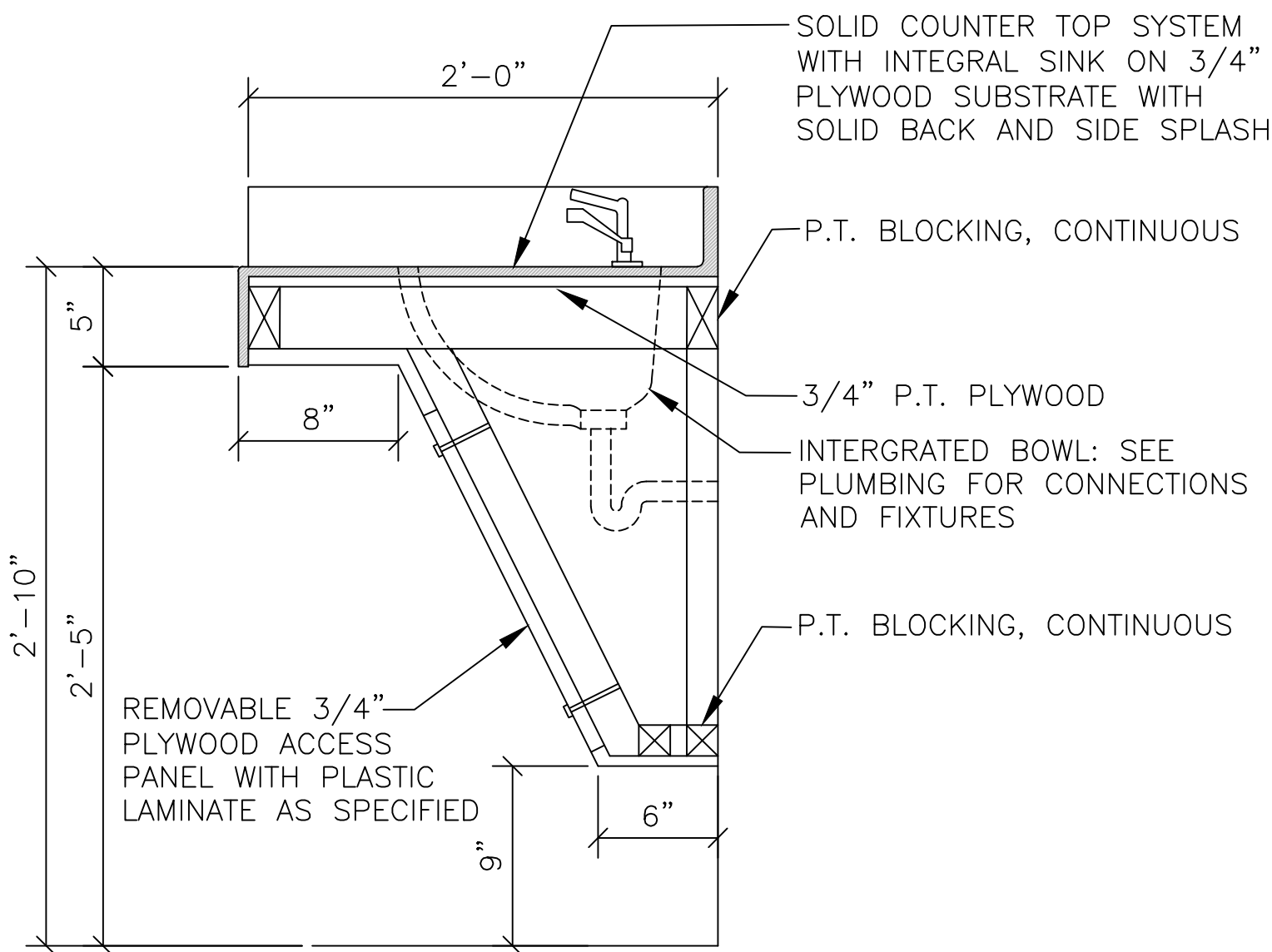
01 ENLARGED TOILET PLAN

SCALE: 3/8"=1'-0"

| WALL TYPE LEGEND |   |
|------------------|---|
|                  | 4" WOOD STUD WALL, UNLESS OTHERWISE NOTED |
|                  | STUD WALLS WITH ATTENUATION BLANKETS      |

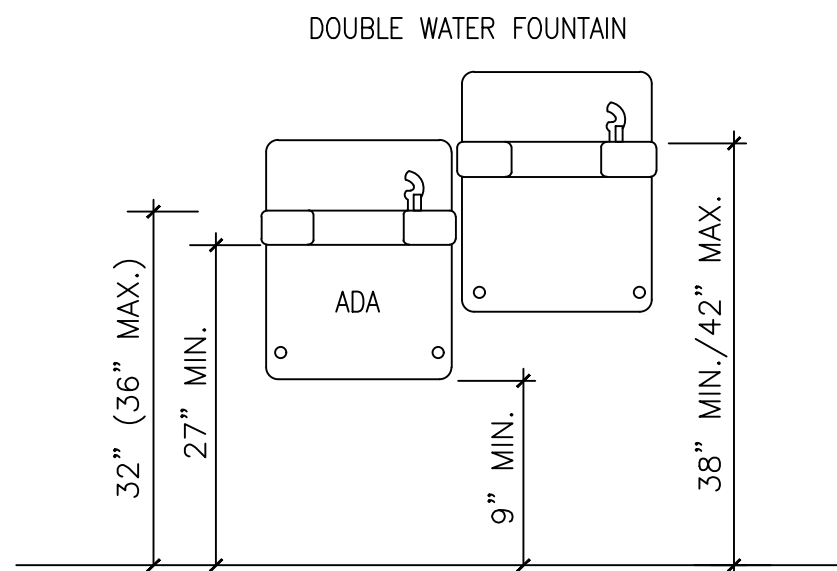
TOILET ACCESSORY SCHEDULE

|   |                                |
|---|--------------------------------|
| A | 36" S.S. GRAB BAR              |
| B | 42" S.S. GRAB BAR              |
| C | TOILET TISSUE DISPENSER        |
| D | HANDRYER                       |
| E | SOAP DISPENSER - SURFACE MOUNT |
| F | FEMININE NAPKIN DISPOSAL       |
| G | MIRROR                         |
| H | VERTICAL GRAB BAR              |
| J | PLUMBING PAD/INSULATION KIT    |



02 SECTION

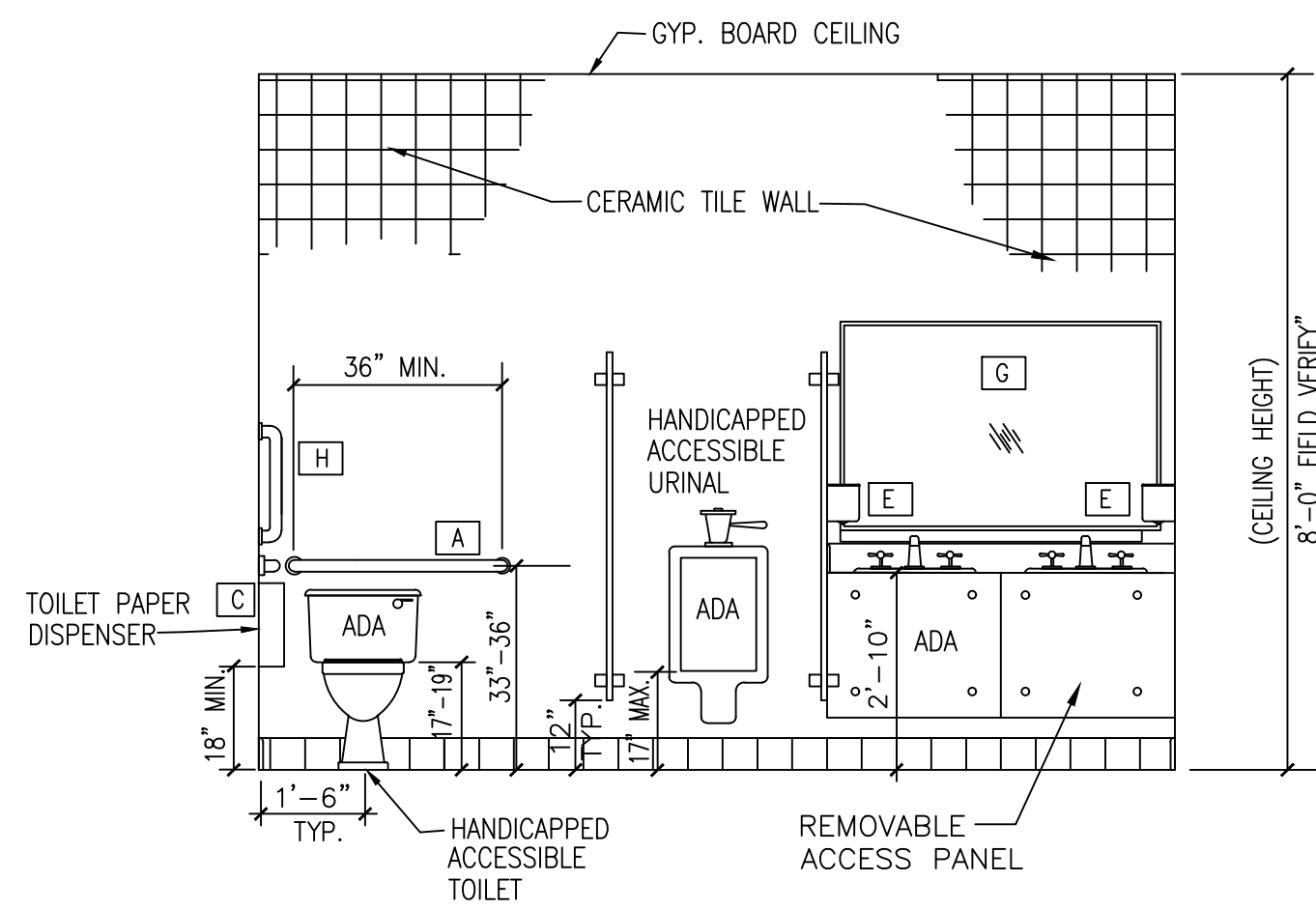
SCALE: 1 1/2"=1'-0"



ELEVATION

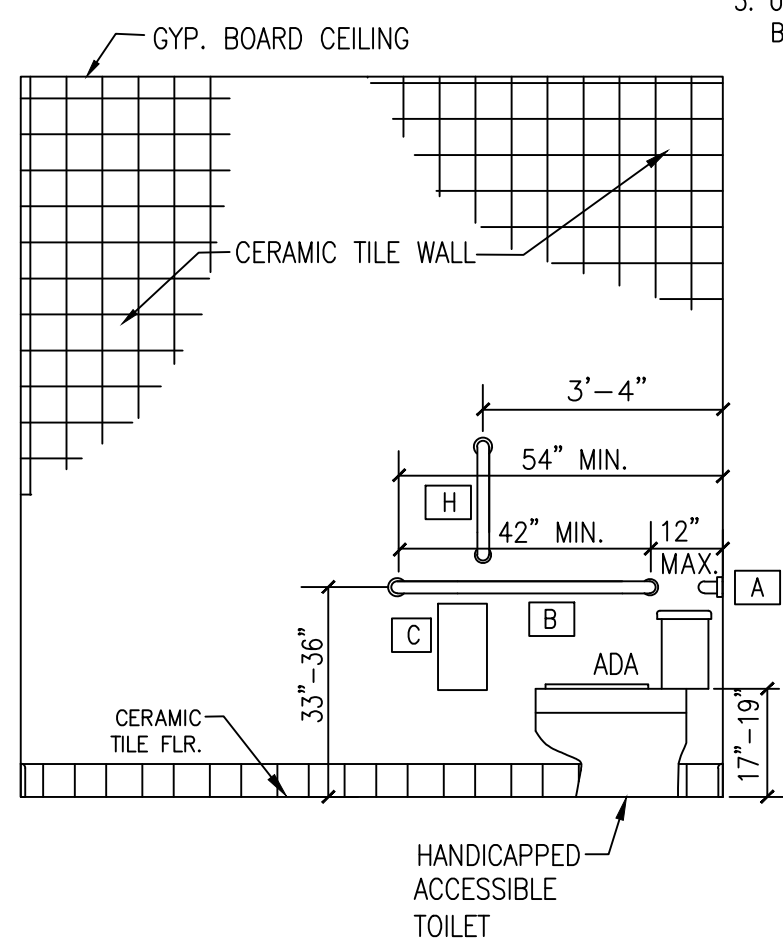
H.C. ACCESSIBLE DOUB. WATER FOUNTAIN SCALE: 3/8"=1'-0"

- NOTES:
- COORD TOILET & GRAB BARS FOR ACCESS TO TOILET TANK
  - PROVIDE WD BLOCKING IN WALL FOR ANCHORING GRAB BARS, TYPICAL.
  - USE MOISTURE RESISTANT GYPSUM BOARD IN ALL WET AREAS.



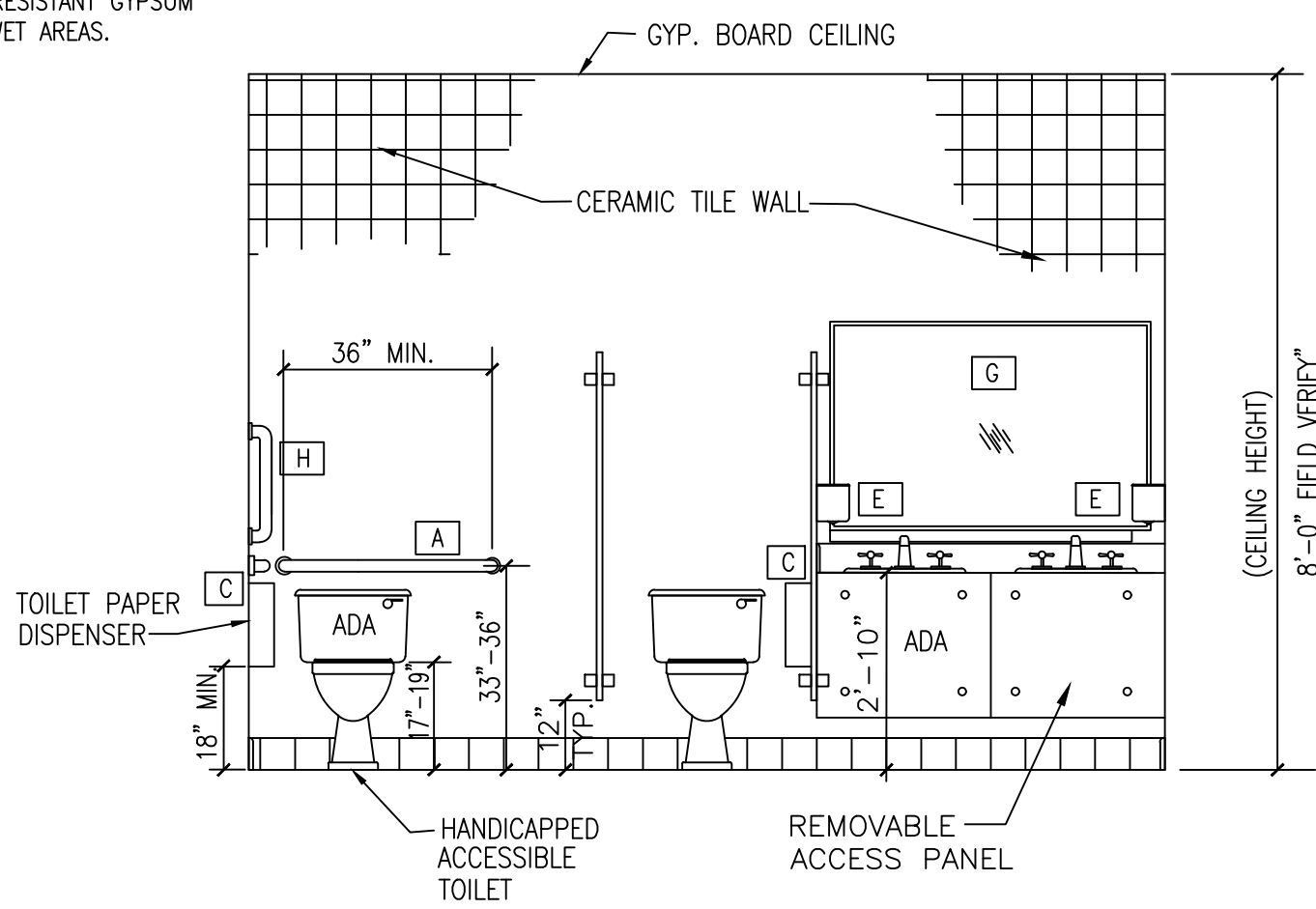
A ELEVATION

MENS RESTROOM SCALE: 3/8"=1'-0"



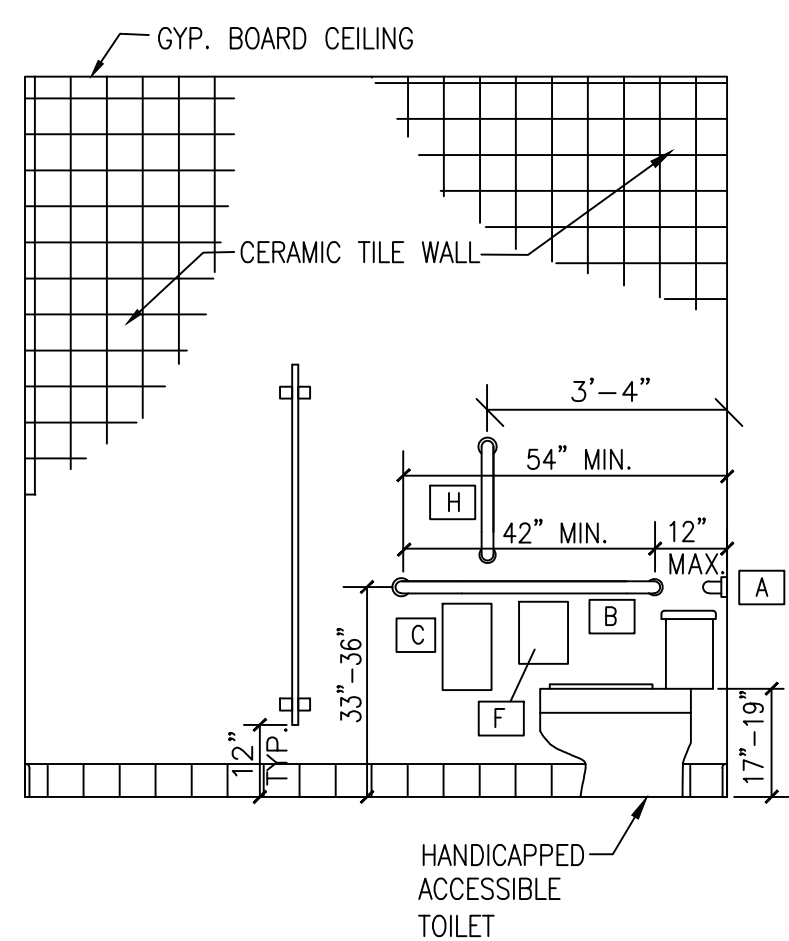
B ELEVATION

MENS RESTROOM SCALE: 3/8"=1'-0"



C ELEVATION

WOMENS RESTROOM SCALE: 3/8"=1'-0"



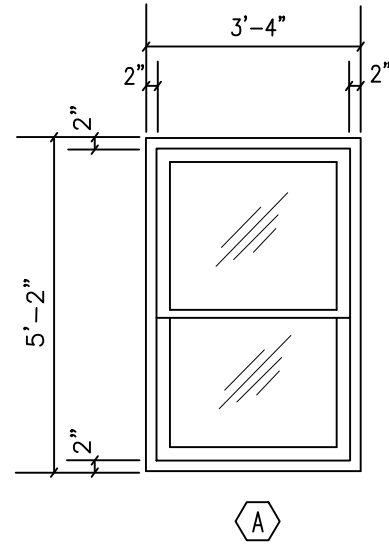
D ELEVATION

WOMENS RESTROOM SCALE: 3/8"=1'-0"

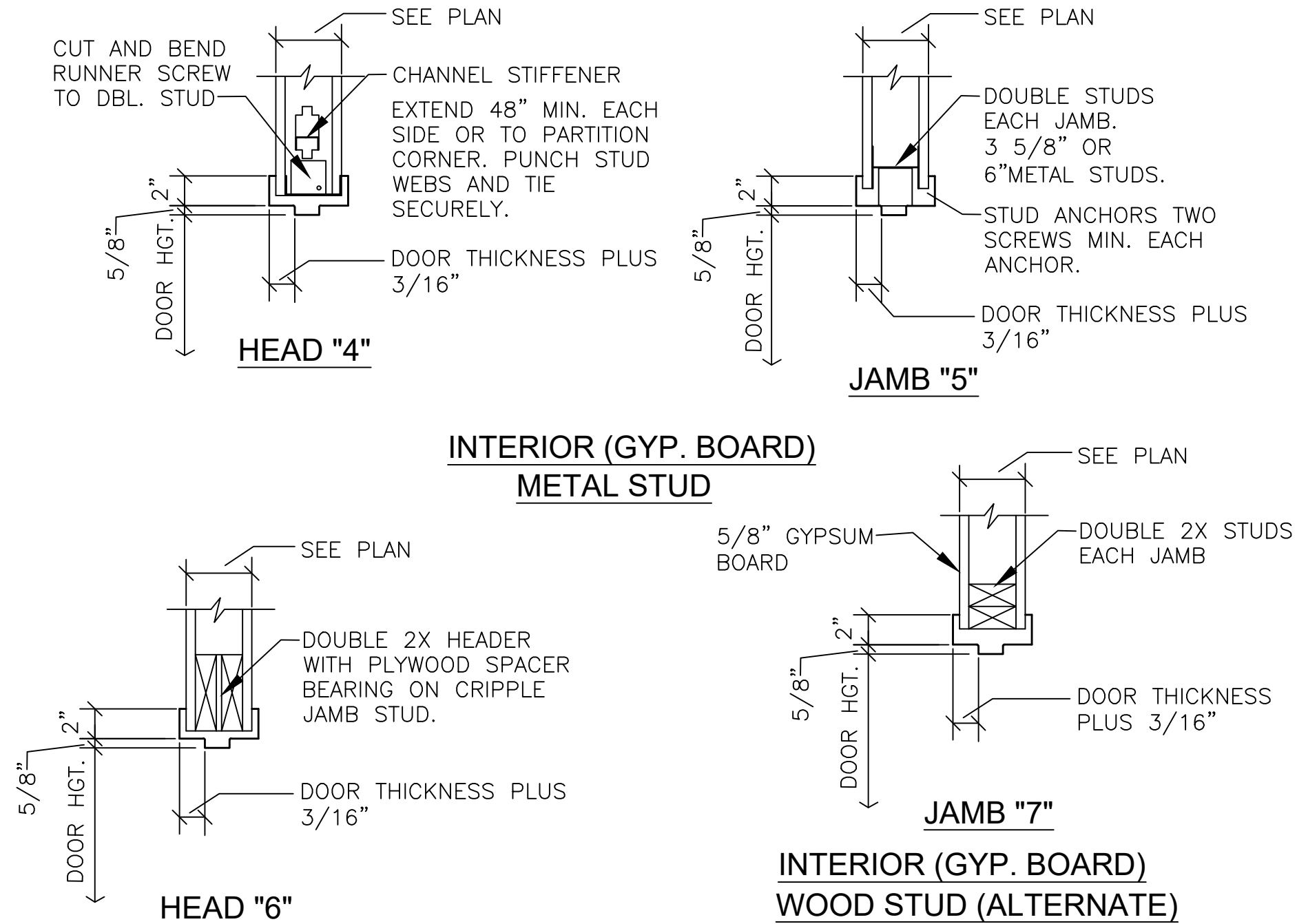
| FINISH LEGEND |   |
|---------------|---|
| SC            | SEALED CONCRETE   |
| GB            | GYPSUM BOARD  |
| SGB           | SECURITY GYPSUM BOARD<br>SGB-1 5/8" VANDAL RESISTANT GYPSUM BOARD OVER SECURITY MESH  |
| WD            | WOOD<br>WD-1 CHERRY STAINED, PLUS CLEAR COAT<br>STAIN COLOR: MATCH GRAHAM WOOD DOOR FINISH 550 UMBER  |
| RB            | RUBBER BASE<br>RB-1 4" COVE BASE: BRAND, STYLE & COLOR TO BE SELECTED BY OWNER  |
| CB            | COVE BASE<br>CB-1 12" X 6" PORCELAIN COVE BASE TILE<br>COLOR TO BE SELECTED BY OWNER  |
| ACT           | ACCOUSTICAL CEILING TILE<br>ACT-1 SEE SPECS   |
| VLP           | PREFINISHED VINYL PLANK FLOORING<br>VLP-1 BRAND, TYPE, SIZE SELECTED BY OWNER   |
| W             | WAINSCOTING<br>W-1 STAIN COLOR TO BE SELECTED BY OWNER  |
| T             | PORCELAIN CERAMIC TILE (REFER TO LEGEND BELOW)<br>T-1 BASIS OF DESIGN: DALTILE, COLOUR SCHEME<br>COLOR = SELECTED BY OWNER<br>SIZE = 12 x 12<br>T-2 BASIS OF DESIGN: DALTILE, COLOR SCHEME<br>COLOR = SELECTED BY OWNER<br>SIZE = 6 X 6 |
| P             | PAINT<br>P-1 SHERWIN WILLIAMS<br>COLOR TO BR SELECTED BY OWNER  |
| EP            | EPOXY PAINT<br>EP-1 SHERWIN WILLIAMS<br>COLOR SELECTED BY OWNER   |
| E             | EPOXY FLOORING: BASIS OF DESIGN: SILKAFLOOR QUARTZITE HDB<br>E-1 COLOR AND TEXTURE TO BE SELECTED   |
| RS            | ROLLER SHADES<br>RS-1 BASIS OF DESIGN: GRABER, LIGHTWEAVES, A500 5% OPENESS<br>COLOR: ALABASTER   |

| FINISH NOTES:   |
|---|
| 1. Apply paint on surfaces prepared per manufacturer's specifications. Provide 2 finish coats over 1 coat of primer, typical.   |
| 2. Provide moisture/water resistant gypsum board at any location where gypsum board is the backup material for ceramic tile finished material.  |
| 3. Provide thresholds & transition strips suitable for the application where floor materials change. Comply with the A.D.A.'s requirements for thresholds.  |
| 4. Rubber base shall be roll goods only. Install on each wall in as few sections as possible. Provide pre-moulded trim pieces at all corners (inside and outside corners, no bending of base accepted). |

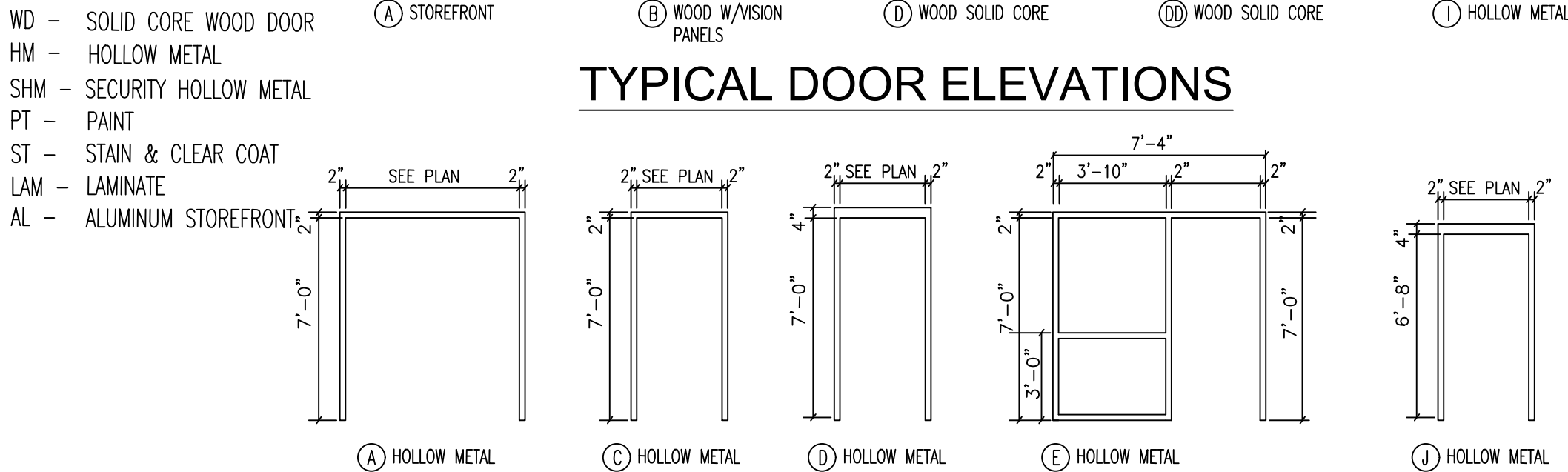
| FINISH SCHEDULE |              |       |      |       |      |       |      |      |         |                  |  |
|-----------------|--------------|-------|------|-------|------|-------|------|------|---------|------------------|--|
| ROOM NO.        | ROOM NAME    | FLOOR | BASE | WALL  |      |       |      |      | CEILING | WINDOW TREATMENT | REMARKS                                |
|                 |              |       |      | NORTH | EAST | SOUTH | WEST | TRIM |         |                  |  |
| 101             | FILE STORAGE | VLP-1 | RB-1 | P-1   | P-1  | P-1   | P-1  | P-1  | GB      | ---              |  |
| 102             | CLERK        | VLP-1 | RB-1 | P-1   | P-1  | P-1   | P-1  | P-1  | GB      | ---              |  |
| 103             | LOBBY        | VLP-1 | RB-1 | P-1   | P-1  | P-1   | P-1  | P-1  | GB      | ---              |  |
| 104             | INSPECTIONS  | VLP-1 | RB-1 | P-1   | P-1  | P-1   | P-1  | P-1  | GB      | ---              |  |
| 105             | STORAGE      | VLP-1 | RB-1 | P-1   | P-1  | P-1   | P-1  | P-1  | GB      | ---              |  |
| 106             | CORRIDOR     | VLP-1 | RB-1 | P-1   | P-1  | P-1   | P-1  | P-1  | GB      | ---              |  |
| 107             | SERVER       | VLP-1 | RB-1 | P-1   | P-1  | P-1   | P-1  | P-1  | GB      | ---              |  |
| 108             | UTILITY      | VLP-1 | RB-1 | P-1   | P-1  | P-1   | P-1  | P-1  | GB      | ---              | MOISTURE RESISTANT GYP. BOARD REQUIRED |
| 109             | CLOSET       | VLP-1 | RB-1 | P-1   | P-1  | P-1   | P-1  | P-1  | GB      | ---              |  |
| 110             | MAYOR        | VLP-1 | RB-1 | P-1   | P-1  | P-1   | P-1  | P-1  | GB      | ---              |  |
| 111             | CONFERENCE   | VLP-1 | RB-1 | P-1   | P-1  | P-1   | P-1  | P-1  | GB      | ---              |  |
| 112             | OFFICE       | VLP-1 | RB-1 | P-1   | P-1  | P-1   | P-1  | P-1  | GB      | ---              |  |
| 113             | CORRIDOR     | VLP-1 | RB-1 | P-1   | P-1  | P-1   | P-1  | P-1  | GB      | ---              |  |
| 114             | WOMEN        | T-1   | CB-1 | T-2   | T-2  | T-2   | T-2  | P-1  | GB      | ---              | MOISTURE RESISTANT GYP. BOARD REQUIRED |
| 115             | MEN          | T-1   | CB-1 | T-2   | T-2  | T-2   | T-2  | P-1  | GB      | ---              | MOISTURE RESISTANT GYP. BOARD REQUIRED |
| 116             | KITCHEN      | VLP-1 | RB-1 | P-1   | P-1  | ---   | P-1  | P-1  | GB      | ---              |  |
| 117             | LIBRARY      | VLP-1 | RB-1 | P-1   | P-1  | P-1   | P-1  | P-1  | GB      | ---              |  |
| 118             | STORAGE      | VLP-1 | RB-1 | P-1   | P-1  | P-1   | P-1  | P-1  | GB      | ---              |  |
| 119             | UTILITY      | SC    | ---  | P-1   | P-1  | P-1   | P-1  | P-1  | GB      | ---              | MOISTURE RESISTANT GYP. BOARD REQUIRED |
| 120             | OFFICE       | VLP-1 | RB-1 | P-1   | P-1  | P-1   | P-1  | P-1  | GB      | ---              |  |
| 121             | OFFICE       | VLP-1 | RB-1 | P-1   | P-1  | P-1   | P-1  | P-1  | GB      | ---              |  |



WINDOW SCHEDULE



TYPICAL HOLLOW METAL FRAME DETAILS



TYP. H.M. FRAME ELEVATIONS

| DOOR SCHEDULE |       |          |          |        |        |       |          |        |    |    |        |        |         |  |         |
|---------------|-------|----------|----------|--------|--------|-------|----------|--------|----|----|--------|--------|---------|--|---------|
| NUMBER        | ELEV. | DOOR     |          |        |        | FRAME |          |        |    |    |        |        | REMARKS |  |         |
|               |       | MATERIAL | SIZE     |        | FINISH | ELEV. | MATERIAL | DETAIL |    |    | FINISH | RATING |         |  | GLAZING |
|               |       |          | WIDTH    | HEIGHT |        |       |          | HD     | JB | TH |        |        |         |  |         |
| 1             | D     | WD       | 2'-8"    | 6'-8"  | ST     | C     | HM       | PT     | —  | —  | —      |        | NR      |  |         |
| 2             | D     | WD       | 3'-0"    | 6'-8"  | ST     | C     | HM       | PT     | —  | —  | —      |        | NR      |  |         |
| 3             | D     | WD       | 3'-0"    | 6'-8"  | ST     | C     | HM       | PT     | —  | —  | —      |        | NR      |  |         |
| 4             | D     | WD       | 3'-0"    | 6'-8"  | ST     | C     | HM       | PT     | —  | —  | —      |        | NR      |  |         |
| 5             | D     | WD       | 3'-0"    | 6'-8"  | ST     | C     | HM       | PT     | —  | —  | —      |        | NR      |  |         |
| 6             | D     | WD       | 2'-8"    | 6'-8"  | ST     | C     | HM       | PT     | —  | —  | —      |        | NR      |  |         |
| 7             | D     | WD       | 3'-0"    | 6'-8"  | ST     | C     | HM       | PT     | —  | —  | —      |        | NR      |  |         |
| 8             | D     | WD       | 3'-0"    | 6'-8"  | ST     | C     | HM       | PT     | —  | —  | —      |        | NR      |  |         |
| 9             | D     | WD       | 2'-8"    | 6'-8"  | ST     | C     | HM       | PT     | —  | —  | —      |        | NR      |  |         |
| 10            | D     | WD       | 3'-0"    | 6'-8"  | ST     | C     | HM       | PT     | —  | —  | —      |        | NR      |  |         |
| 11            | D     | WD       | 2'-8"    | 6'-8"  | ST     | C     | HM       | PT     | —  | —  | —      |        | NR      |  |         |
| 12            | D     | WD       | 3'-0"    | 6'-8"  | ST     | C     | HM       | PT     | —  | —  | —      |        | NR      |  |         |
| 13            | D     | WD       | 3'-0"    | 6'-8"  | ST     | C     | HM       | PT     | —  | —  | —      |        | NR      |  |         |
| 14            | D     | WD       | 3'-0"    | 6'-8"  | ST     | C     | HM       | PT     | —  | —  | —      |        | NR      |  |         |
| 15            | D     | WD       | 3'-0"    | 6'-8"  | ST     | C     | HM       | PT     | —  | —  | —      |        | NR      |  |         |
| 16            | D     | WD       | 3'-0"    | 6'-8"  | ST     | C     | HM       | PT     | —  | —  | —      |        | NR      |  |         |
| 17            | D     | WD       | 3'-0"    | 6'-8"  | ST     | C     | HM       | PT     | —  | —  | —      |        | NR      |  |         |
| 18            | D     | WD       | 3'-0"    | 6'-8"  | ST     | C     | HM       | PT     | —  | —  | —      |        | NR      |  |         |
| 19            | A     | AL       | 2(3'-0") | 6'-8"  | —      | —     | AL       | —      | —  | —  | —      | —      |         |  |         |
| 20            | A     | AL       | 3'-0"    | 6'-8"  | —      | —     | AL       | —      | —  | —  | —      | —      |         |  |         |
| 21            | D     | WD       | 3'-0"    | 6'-8"  | PT     | C     | HM       | PT     | —  | —  | —      | NR     |         | MATCH EXIST. WOOD DOORS IN STYLE & COLOR |         |
| 22            | D     | WD       | 3'-0"    | 6'-8"  | PT     | C     | HM       | PT     | —  | —  | —      | NR     |         | MATCH EXIST. WOOD DOORS IN STYLE & COLOR |         |
| 23            | D     | WD       | 3'-0"    | 6'-8"  | ST     | C     | HM       | PT     | —  | —  | —      | NR     |         |  |         |

A PROJECT FOR:  
City of Lake View

City of Lake View  
New City Building

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DATE NUMBER DESCRIPTION

DETAILS

PROJECT:  
Building Renovation

Location:  
Lake View, Alabama

HagerCo-LLC

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Schedules

A4.0

Sheet 08 Of 15



A PROJECT FOR:  
City of Lake View

City of Lake View  
New City Building

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## DETAILS

PROJECT:  
Building Renovation

Location:  
Lake View, Alabama

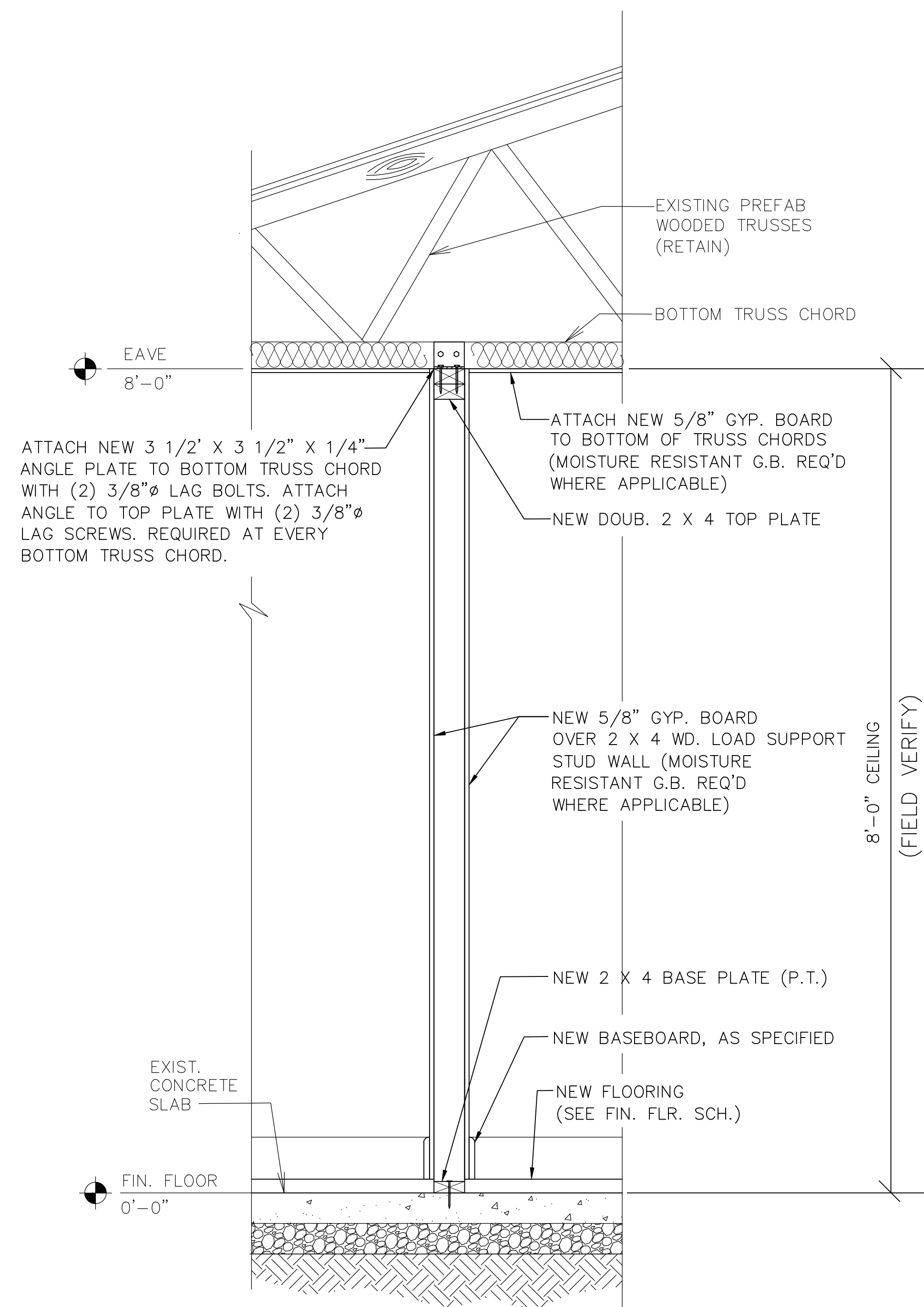
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## Wall Sections

## A5.0

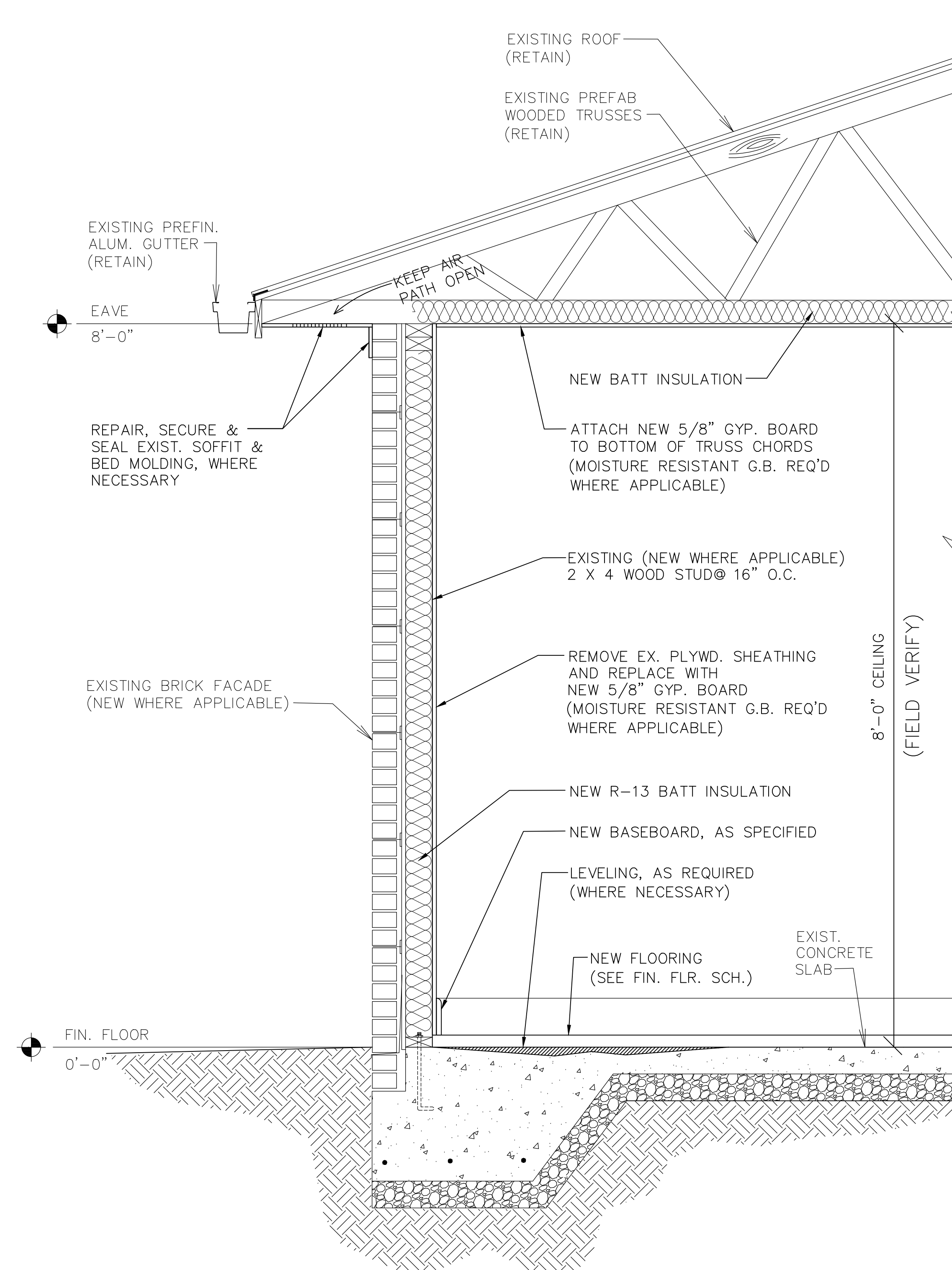
Sheet 09 Of 15



## 02 WALL SECTION

TYPICAL INTERIOR WALL SECTION

SCALE: 1"=1'-0"



**01 WALL SECTION**  
TYPICAL EXTERIOR WALL SECTION SCALE: 1"=1'-0"

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| DATE | NUMBER | DESCRIPTION |  |  |  |  |
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DETAILS

PROJECT:  
Building Renovation

Location:  
Lake View, Alabama

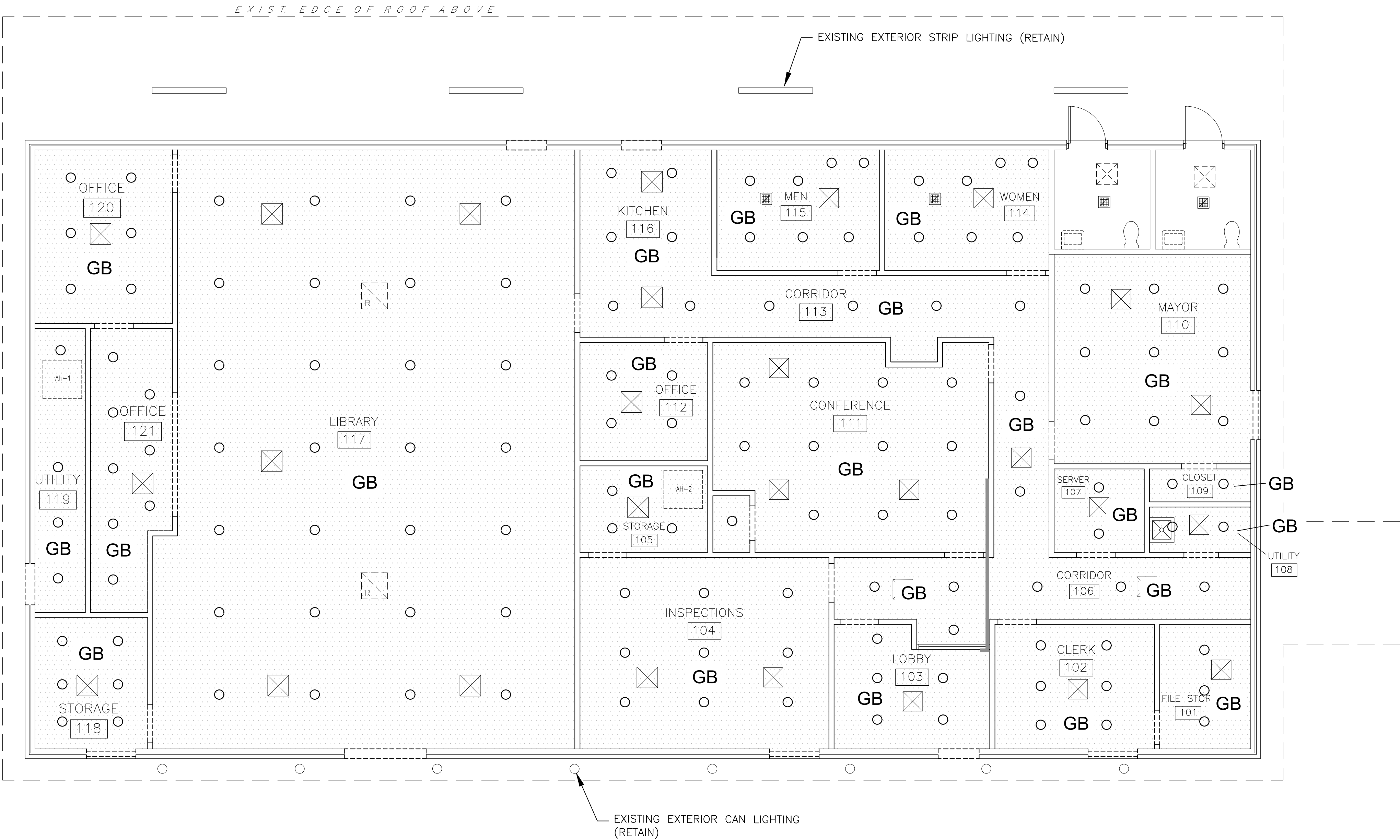
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Reflective Ceiling

A6.0

Sheet 10 Of 15



01 REFLECTIVE CEILING PLAN

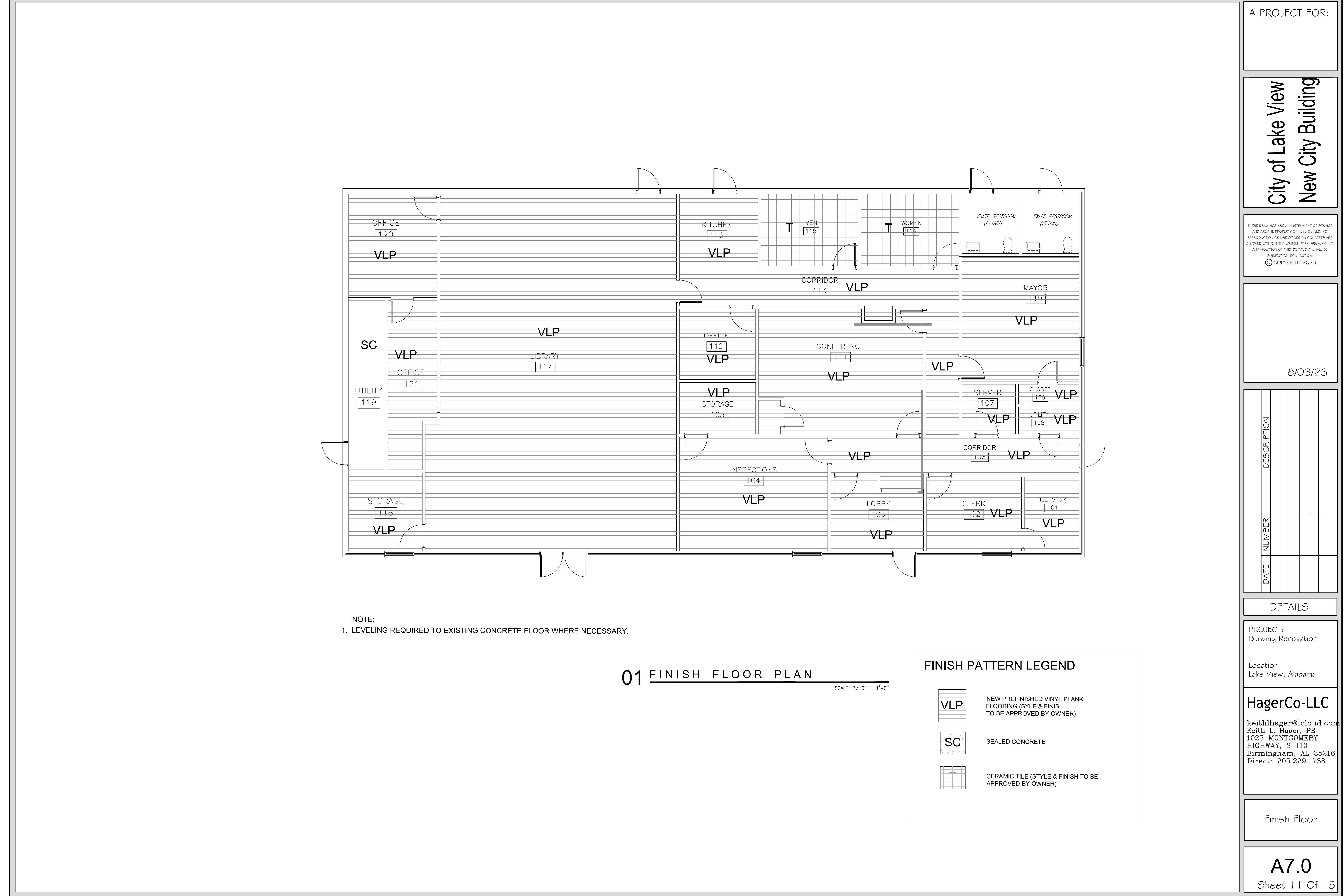
SCALE: 3/16" = 1'-0"

CEILING PATTERN LEGEND

GB

5/8" GYPSUM BOARD CEILING,  
USE MOISTURE RESISTANT GYP.  
IN ALL WET AREAS.  
SEE FINISH SCH. FOR PAINT COLORS.





A PROJECT FOR:

City of Lake View  
New City Building

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| DATE | NUMBER | DESCRIPTION |  |  |  |  |
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|      |        |             |  |  |  |  |

DETAILS

PROJECT:  
Building Renovation

Location:  
Lake View, Alabama

HagerCo-LLC

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Finish Floor

A7.0

Sheet 11 Of 15

A PROJECT FOR:

City of Lake View  
New City Building

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| DESCRIPTION |        |
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DETAILS

PROJECT:  
Building Renovation

Location:  
Lake View, Alabama

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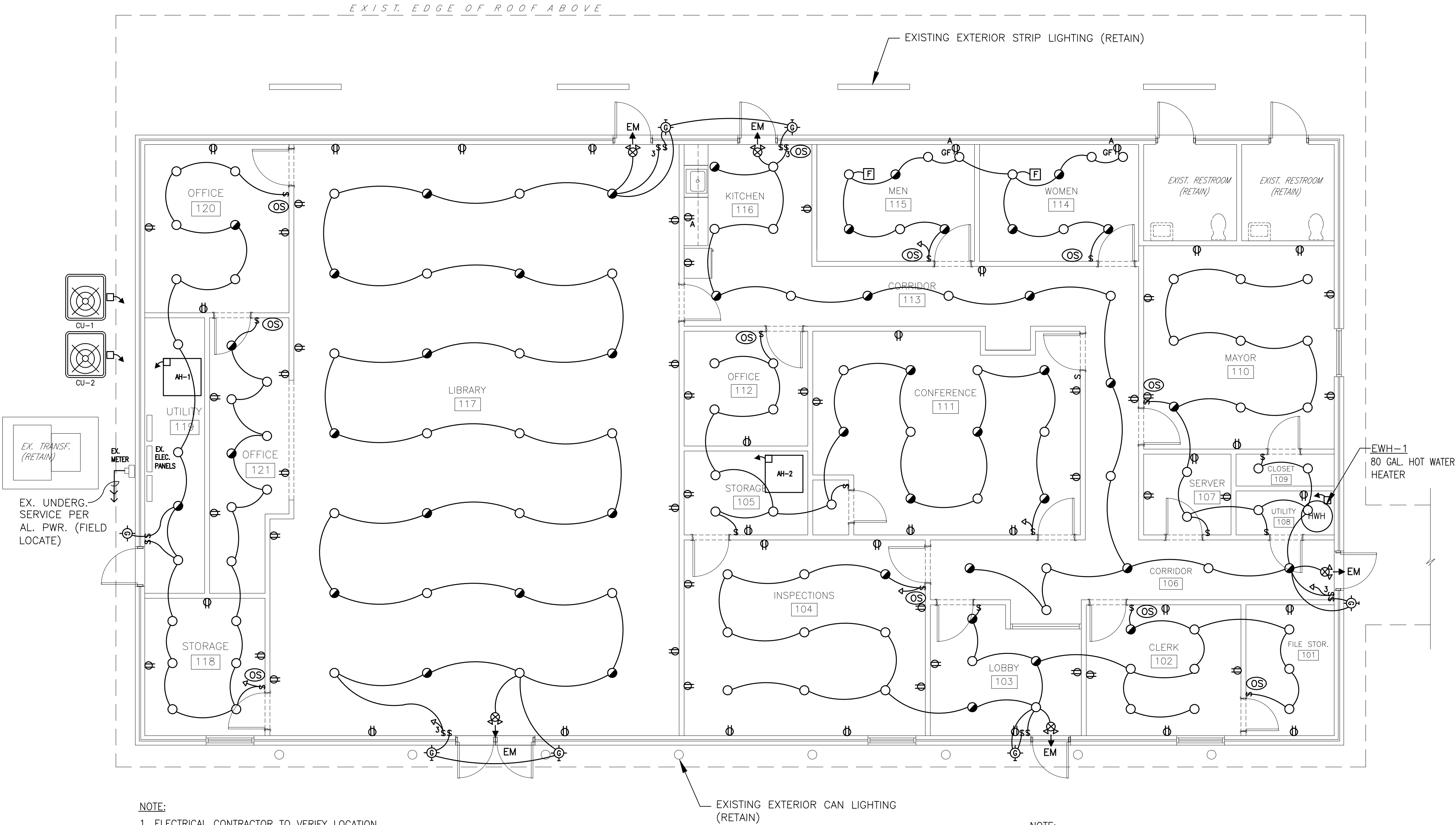
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Electrical Plan

E1.0  
Sheet 12 Of 15

ELECTRICAL LEGEND

- RECESSED LED INCANDESCENT CAN LIGHT
- RECESSED LED INCANDESCENT CAN LIGHT, LIFE SAFETY EMERGENCY EGRESS LIGHTING
- ⊕ EXIT/EMERGENCY COMBINATION
- ⊕ LED EXTERIOR LIGHT FIXTURE & WALL BRACKET, SURFACE MOUNTED
- ⊕ EMERGENCY, 2 HD BATTERY PACK
- ⊕ EXIT
- ⊕ INCANDESCENT (KEYLESS)
- EM REMOTE EMERGENCY HEAD
- ⊕ 125V DUPLEX RECEPTACLE, MOUNTED 12" AFF UON (STAINLESS STEEL COVER)
- ⊕ 125V DUPLEX RECEPTACLE, BOTTOM OF OUTLET BOX MOUNTED 2" ABOVE TOP OF BACKSPLASH OR IF NO BACKSPLASH, 4" ABOVE COUNTERTOP.
- ⊕ GF 125V DUPLEX RECEPTACLE, GROUND FAULT INTERRUPTER, MOUNTED 12" AFF, UNLESS NOTED OTHERWISE.
- S SINGLE POLE SWITCH, MOUNTED 48" AFF UON
- S<sub>3</sub> THREE WAY SWITCH, MOUNTED 48" AFF UON
- S<sub>4</sub> FOUR WAY SWITCH, MOUNTED 48" AFF UON
- BRANCH CIRCUIT, CONCEALED OVERHEAD OR IN WALLS IN 3/4" ELEC. METALLIC TUBING
- WP WP INDICATES WEATHER PROOF
- ⊕ FLOOR OUTLET- TELEPHONE/DATA
- ⊕ FLOOR OUTLET- DOUBLE DUPLEX, 15A, 125V, 3 WIRE, NEMA 5-15R
- ⊕ THERMOSTAT WITH LOW VOLTAGE CONTROL WIRING
- ⊕ JUNCTION BOX OR OUTLET BOX WITH BLANK COVER PLATE
- ⊕ EXHAUST FAN, 10" DAYTON MODEL 5C054 (330CFM) OR APPROVED EQUAL.
- ⊕ SAFETY SWITCH, FUSED
- ⊕ SAFETY SWITCH, NON-FUSED
- A.F.F. ABOVE FINISH FLOOR
- ⊕ SD SMOKE DETECTOR, DICON SYSTEMS, MODEL 570LR, 120V WITH BATTERY BACKUP (9V).
- ⊕ OS OCCUPANCY SENSOR
- ⊕ QUADUAPLEX RECEPTACLE



- NOTE:
- ELECTRICAL CONTRACTOR TO VERIFY LOCATION OF ALL SWITCHES & CONTROLS WITH OWNER PRIOR TO INSTALLATION
  - CONTRACTOR SHALL VERIFY ALL LOCATIONS & QUANTITIES OF SMOKE DETECTORS WITH LOCAL FIRE MARSHALL.

01 ELECTRICAL PLAN

SCALE: 3/16" = 1'-0"

GENERAL NOTES

- ALL ELECTRICAL WORK TO BE DONE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND LOCAL ORDINANCES. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS.
- CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF WITH ALL DETAILS OF THE WORK AND ALL EXISTING FIELD CONDITIONS.
- THE ELECTRICAL CONTRACTOR SHALL CAREFULLY COORDINATE HIS WORK WITH OTHER CONTRACTORS THROUGH THE GENERAL CONTRACTOR FOR SPACE REQUIREMENTS, ETC.
- CONTRACTOR SHALL VERIFY ALL MECHANICAL EQUIPMENT NAMEPLATE DATA BEFORE ANY WORK IS DONE AND MAKE ANY ADJUSTMENTS IN BREAKER AND WIRE SIZE AS MAY BE REQUIRED.
- IN THE EVENT OF ANY DISCREPANCIES AND OR ERRORS FOUND IN THE DRAWINGS, OR IF PROBLEMS ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL BE REQUIRED TO NOTIFY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. IF THE ENGINEER IS NOT NOTIFIED THE CONTRACTOR SHALL TAKE RESPONSIBILITY FOR THE COST OF ANY REVISION.
- THE ELECTRICAL DRAWINGS ARE SCHEMATIC AND ARE NOT INTENDED TO SHOW THE EXACT LOCATION OF CONDUITS, OUTLETS, ETC. THE CONTRACTOR SHALL REFER TO ARCHITECTURAL, MECHANICAL, AND PLUMBING DRAWINGS AND SHALL FIT HIS WORK TO CONFORM WITH THE BUILDING CONSTRUCTION, AND WITH THE OTHER TRADES.
- MOUNTING HEIGHTS OF ALL WALL OUTLETS SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED:  
WALL SWITCHES.....4'-0" H  
RECEPTACLES GENERAL .....1'-0" H  
TELEPHONE .....1'-0" H  
EXIT LIGHT.....CENTERLINE ABOVE DOOR
- VERIFY ALL DOOR SWINGS WITH ARCHITECT BEFORE ROUGHING LIGHT SWITCHES.
- CONTRACTOR SHALL CHECK ALL LIGHT FIXTURES FOR EXACT TYPE MOUNTING AND SPACE REQUIRED BEFORE ROUGHING IN.
- FLUSH MOUNT ALL WIRING DEVICES.
- CONCEAL ALL CONDUIT ABOVE CEILING, IN WALLS OR BELOW FLOOR SLAB
- WHERE JUNCTION BOXES ARE INDICATED, COMPLETE WIRING TO EQUIPMENT WITH FLEXIBLE METAL CONDUIT AND APPROPRIATELY SIZED CONDUCTORS.
- PROVIDE PLUG-IN TRANSIENT VOLTAGE SURGE SUPPRESSOR-INNOVATIVE TECHNOLOGY MODEL SPIU-2
- TRANSIENT VOLTAGE SURGE SUPPRESSOR-INNOVATIVE TECHNOLOGY MODEL HP-277/480V. INSTALL PER MANUFACTURERS RECOMMENDATIONS.
- ALL WIRING TO 120V DUPLEX RECEPTACLES SHALL BE 3-#12 IN 3/4" ELECTRIC METAL TUBING, UNLESS OTHERWISE NOTED.
- ALL WIRING TO LIGHT SOURCES SHALL BE 3-#12 IN 3/4" ELECTRIC METAL TUBING, UNLESS OTHERWISE NOTED.
- PAINT ALL EXTERIOR EXHAUST FANS, ROOF JACKS AND WALL CAPS TO MATCH EXTERIOR WALLS AND ROOFS. SUBMIT PROPOSED PAINT COLOR SAMPLES TO OWNER FOR APPROVAL.
- THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF "THE MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" ISSUED BY AGC OF AMERICA, INC. AND THE "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION" ISSUED BY THE U. S. DEPARTMENT OF LABOR.



A PROJECT FOR:

City of Lake View  
New City Building

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DETAILS

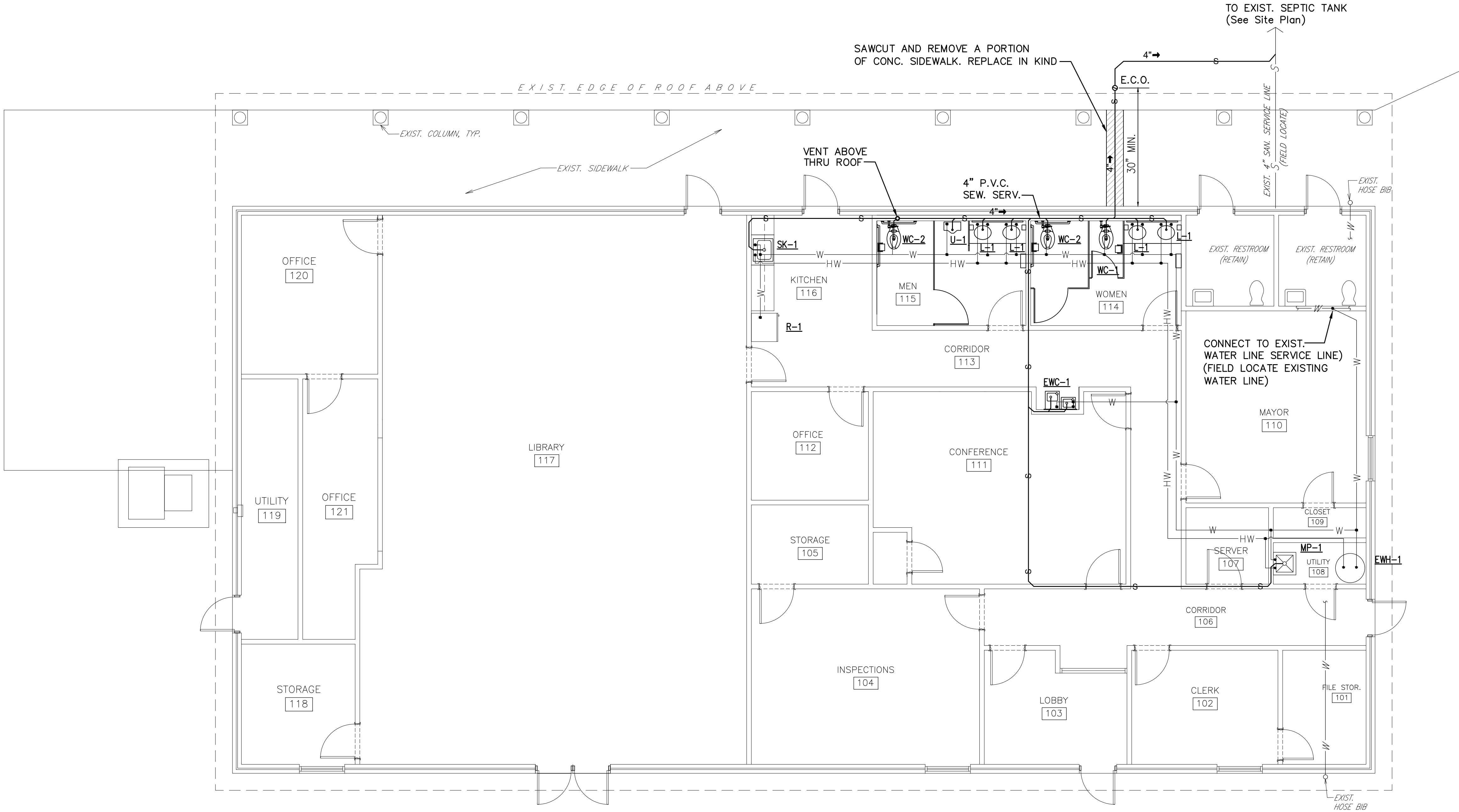
PROJECT:  
Building Renovation

Location:  
Lake View, Alabama

HagerCo-LLC

keithlhager@icloud.com  
Keith L. Hager, PE  
1025 MONTGOMERY  
HIGHWAY, S 110  
Birmingham, AL 35216  
Direct: 205.229.1738

Plumbing Plan



DESIGN NOTES:

A.) THESE PLANS ARE INTENDED TO BE THE SCHEMATIC PLANS FOR THE PROPOSED BUILDING. THE ARCHITECTURAL DESIGN OF THIS BUILDING IS INTENDED TO BE DESIGN / BUILD BY THE CONTRACTOR AND OWNER. THE ENGINEER DOES NOT IMPLY ARCHITECTURAL DESIGN BY THE SHOWING OF THE FLOOR PLANS. IT IS THE RESPONSIBILITY OF THE OWNER AND CONTRACTOR TO INSURE THAT ALL PARTS OF THESE PLANS AND DESIGNS COMPLY WITH ALL LOCAL, STATE AND NATIONAL CODES. ANY DISCREPANCY BETWEEN THE PLANS AND CODE AND THE APPLICABLE CODE SHALL GOVERN.

B.) ALL PARTS OF THIS PLAN ARE INTENDED TO MEET OR EXCEED ALL APPLICABLE BUILDING AND SAFETY CODES. THE CONTRACTOR SHALL MAKE FIELD CHANGES TO ANY AREAS OF THESE PLANS TO INSURE STRICT ACCORDANCE WITH ANY APPLICABLE CODES.

C.) THE PLUMBING, ELECTRICAL, AND HVAC PLANS FOR THIS BUILDING SHALL BE DESIGN BUILD BY EACH SUB-CONTRACTOR AND SHALL MEET OR EXCEED ALL APPLICABLE CODES. THE OWNER SHALL DIRECT THE PLACEMENT OF FIXTURES, HARDWARE, AND SWITCHES. ALL COMMUNICATION DESIGN IS BY OTHERS.

D.) THE CONTRACTOR AND OWNER SHALL CONFIRM THAT ALL PARTS OF THIS SCHEMATIC PLAN IS IN COMPLIANCE WITH APPLICABLE FIRE AND SAFETY CODES FOR THE DESIRED USE OF THE PROJECT BUILDING.

E.) THE ENGINEER RESERVES THE RIGHT TO MODIFY THE PLANS BASED ON NEW INFORMATION OR THE DISCOVERY OF CODE ISSUES.

01 PLUMBING PLAN

SCALE: 3/16" = 1'-0"

| PLUMBING FIXTURE SCHEDULE |                         |       |            |           |                                |
|---------------------------|-------------------------|-------|------------|-----------|--------------------------------|
| MARK                      | FIXTURE                 | WASTE | COLD WATER | HOT WATER | COMMENTS                       |
| WC-1                      | WATER CLOSET            | 3"    | 1"         | --        | FLOOR MOUNTED                  |
| WC-2                      | WATER CLOSET, ADA       | 3"    | 1"         | --        | FLOOR MOUNTED, ADA COMP.       |
| L-1                       | LAVATORY                | 2"    | 1"         | 1/2"      | ADA COMPLIANT, WALL MOUNTED    |
| SK-1                      | KITCHEN TYPE SINK       | 2"    | 1"         | 1/2"      | CABINET MOUNTED, 2 COMPARTMENT |
| MS-1                      | MOP SINK                | 2"    | 1"         | 1/2"      | 24"X24" FLOOR MOUNTED          |
| U-1                       | URINAL                  | 1.5"  | 3/4"       | --        | WALL MOUNTED                   |
| EWC                       | ELECTRICAL WATER COOLER | 1.5"  | 1"         | 1/2"      | BI-LEVEL, STAINLESS STEEL      |

| PLUMBING LEGEND |                     |
|-----------------|---------------------|
| — W —           | COLD WATER          |
| — HW —          | HOT WATER           |
| — W —           | COLD WATER          |
| — HW —          | HOT WATER           |
| — S —           | SANITARY SEWER      |
| — V —           | VENT                |
| — D —           | DRAIN LINE          |
| — CD —          | CONDENSATE DRAIN LN |
| VTR             | VENT THRU ROOF      |
| ⊙ CO            | CLEAN OUT           |
| ⊙ WCO           | WALL CLEAN OUT      |
| ⊙ ECO           | EXTERIOR CLEANOUT   |

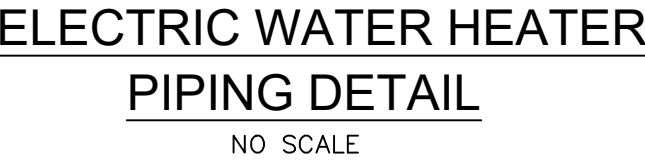


Diagram illustrating a clean-out installation through a floor. The floor is shown with a recessed clean-out and plug. A long sweep ell and 45-degree elbow are used to connect the plug to the main pipe line. The diagram is labeled with "FLOOR", "RECESSED CLEAN-OUT AND PLUG", "USE LONG SWEEP ELL & 45 WHEN C.O. OCCURS AT END OF LINE", "NO HUB PIPE AS REQ'D", "PIPE", and "FLOW".

INTERIOR/EXTERIOR  
CLEAN OUT DETAIL  
NO SCALE



E.) THE ENGINEER RESERVES THE RIGHT TO MODIFY THE PLANS BASED ON NEW INFORMATION OR THE DISCOVERY OF CODE ISSUES.

City of Lake View  
New City Building

ALABAMA  
REGISTERED  
No. 24693  
PROFESSIONAL  
ENGINEER  
J. H. L. HAY

8/03/23

## DETAILS

**HagerCo-LLC**  
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 Birmingham, AL 35216  
 Direct: 205.229.1738

## Plumbing Details



A PROJECT FOR:

City of Lake View  
New City Building

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DETAILS

PROJECT:  
Building Renovation

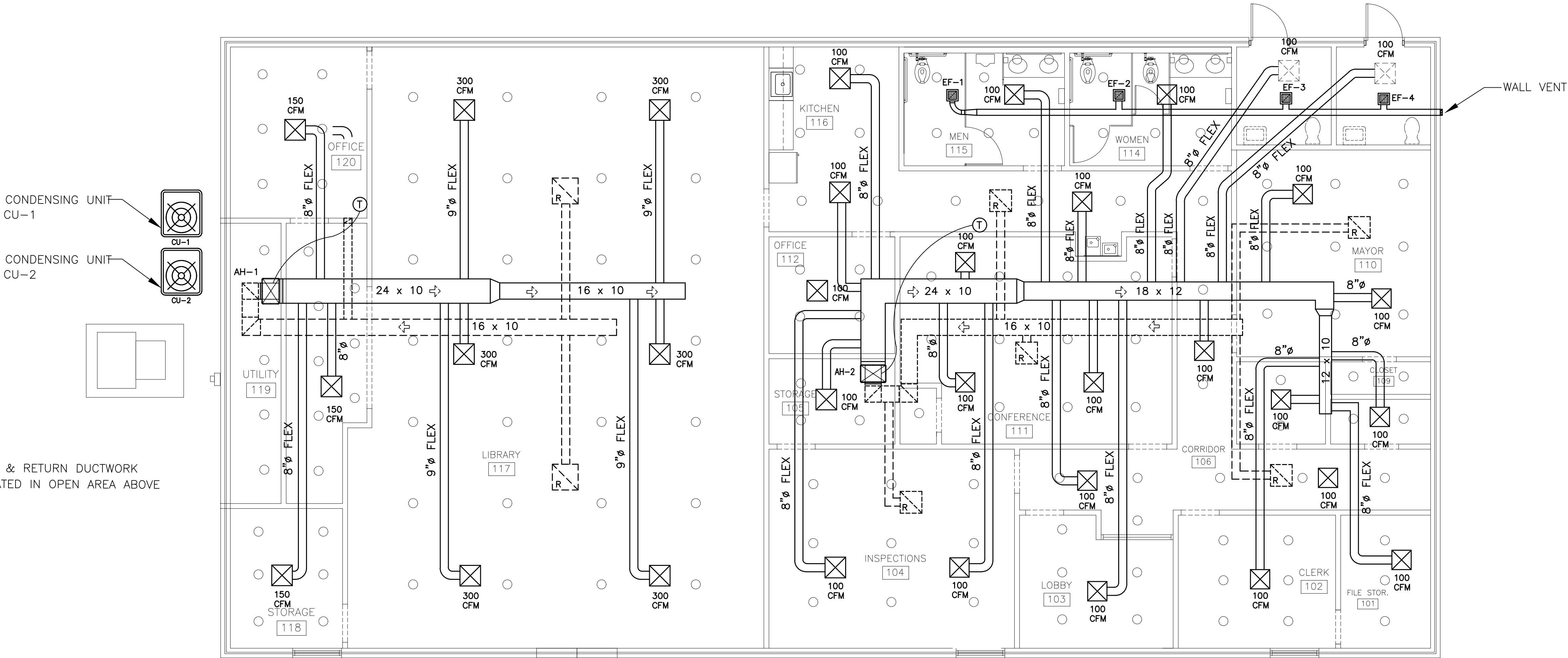
Location:  
Lake View, Alabama

HagerCo-LLC

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Hvac Plan

M1.0  
Sheet 15 Of 15



NOTE:  
ALL SUPPLY & RETURN DUCTWORK  
TO BE LOCATED IN OPEN AREA ABOVE

NOTE:  
ALL RETURN DUCTWORK TO BE  
LOCATED ABOVE SUSPENDED AND  
FINISHED CEILINGS.

GENERAL NOTES

- ALL HVAC TO BE INSTALLED BY CONTRACTOR TO NATIONAL AND LOCAL CODES.
- THE ABOVE HVAC LOCATIONS ARE NOT RIGID. PRECISE LOCATIONS WILL BE DETERMINED BY THE CONTRACTOR.
- IN THE EVENT OF ANY DISCREPANCIES AND OR ERRORS FOUND IN THE DRAWINGS, OR IF PROBLEMS ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL BE REQUIRED TO NOTIFY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. IF THE ENGINEER IS NOT NOTIFIED THE CONTRACTOR SHALL TAKE RESPONSIBILITY FOR THE COST OF ANY REVISION.
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- ALL HVAC IS SCHEMATIC AND ACTUAL LOCATIONS OF SUPPLY AND RETURN SHALL BE COORDINATED WITH OTHER DISCIPLINES.

GENERAL NOTES:  
APPLY TO ALL HVAC DRAWINGS:

- VERIFY EXISTING CONDITIONS PRIOR TO BEGINNING WORK; NOTIFY ENGINEER IN WRITING OF ANY DISCREPANCY OR PROBLEMS FOUND.
- DRAWINGS ARE SCHEMATIC ONLY AND DO NOT SHOW ALL DETAILS, OFFSETS, NOR CHANGE IN ELEVATIONS REQUIRED FOR A COMPLETE INSTALLATION.
- PROVIDE REQUIRED OFFSETS IN PIPING AND DUCTWORK AS REQUIRED TO ACCOMMODATE FIELD CONDITIONS. CONTRACTOR SHALL COORDINATE WITH ALL OTHER TRADES.
- DUCT SIZE NOTED ARE INSIDE DIMENSIONS.
- FLEXIBLE DUCTS SHALL NOT BEND MORE THAN 45 DEG.
- ALL GROUND MOUNTED UNITS SHALL BE LOCATED ON CONCRETE PAD PER MANUFACTURER SPECIFICATIONS.
- LOCATE OUTSIDE AIR INTAKES A MINIMUM OF 10-FT FROM ANY PLUMBING VENT OR EXHAUST.
- CONTRACTOR TO COORDINATE EXACT LOCATION OF ALL SUPPLY GRILLS AND RETURN VENTS WITH OWNER AND ARCHITECT.

01 HVAC PLAN

SCALE: 3/16" = 1'-0"

FAN SCHEDULE

| FAN NO. | SERVES   | TYPE  | CFM | APPROX. S.P. | SELECTION CRITERIA       | MOTOR |          | CONTROL OR INTERLOCK WITH |
|---------|----------|---|-----|--------------|--------------------------|-------|----------|---------------------------|
|         |          |   |     |              |                          | HP    | VOLTAGE  |                           |
| EF-1    | RESTROOM | CEILING MTD. CENTRIFUGAL BROWN MODEL OR EQ. | 150 | 0.5          | 5 SONES MAX 1140 RPM MAX | 100W  | 110/1/60 | LIGHTS                    |
| EF-2    | RESTROOM | CEILING MTD. CENTRIFUGAL BROWN MODEL OR EQ. | 150 | 0.5          | 5 SONES MAX 1140 RPM MAX | 100W  | 110/1/60 | LIGHTS                    |
| EF-3    | RESTROOM | CEILING MTD. CENTRIFUGAL BROWN MODEL OR EQ. | 150 | 0.5          | 5 SONES MAX 1140 RPM MAX | 100W  | 110/1/60 | LIGHTS                    |
| EF-4    | RESTROOM | CEILING MTD. CENTRIFUGAL BROWN MODEL OR EQ. | 150 | 0.5          | 5 SONES MAX 1140 RPM MAX | 100W  | 110/1/60 | LIGHTS                    |

LEGEND OF SYMBOLS

- 8" FLEX - FLEXIBLE AIR SUPPLY DUCT (W/ SIZE)
- - RETURN DUCTWORK
- ⊗ - CEILING SUPPLY GRILL (HART & COOLEY HVS)
- ⊕ - THERMOSTAT
- ⌈R⌋ - CEILING RETURN GRILL

INDOOR AC UNIT SYSTEM SCHEDULE

|           | AREA        | SUPPLY   | ELECTRICAL | NOMINAL TONS | DESCRIPTION        | COMMENTS             |
|-----------|-------------|----------|------------|--------------|--------------------|----------------------|
| AH-1 CU-1 | LIBRARY     | 2200 CFM | 240/1 PH.  | 5            | TRANE XR16 (5 TON) | MATCHING AIR HANDLER |
| AH-2 CU-2 | OFFICE AREA | 2200 CFM | 240/1 PH.  | 5            | TRANE XR16 (5 TON) | MATCHING AIR HANDLER |

NOTES:

- CAPACITIES ARE MINIMUM GROSS
- PROVIDE NEOPRENE PAD ISOLATOR
- PROVIDE 2" DEEP AUXILIARY DRAIN
- PROVIDE 2" THICK THROWAWAY FILTER
- PROVIDE SINGLE POINT ELECTRICAL CONNECTION
- PROVIDE BELT DRIVE